

LaRue Townhomes

301 MARTIN STREET
WILMINGTON, NORTH CAROLINA

KEVIN PFIRMAN ARCHITECT PLLC
 307 MARTIN STREET
 WILMINGTON, NC 28401
 PH: 910.538.2170
 WWW.PFIRMAN.COM



PROJECT TEAM:

ARCHITECT:
 KEVIN PFIRMAN ARCHITECT, PLLC
 307 Martin Street
 Wilmington, NC 28401
 910.538.2170
 kevin@pfirman.com

GENERAL CONTRACTOR

Sterling Construction
 Contact: Jeremy Bishop
 910-231-1844

CIVIL ENGINEER:

INTRACOASTAL ENGINEERING, PLLC
 5725 Oleander Drive Unit E-7
 Wilmington, NC 28403
 Office: 910.859.8983
 Cell: 910.409.3567
 charlie@intracoastalesengineering.com

PROJECT DATA:

PROJECT NAME: LaRue Townhomes
 PROJECT DESCRIPTION: Townhomes
 PROJECT ADDRESS: 301 MARTIN ST., WILMINGTON, NC 28401
 OWNER CONTACT: KEVIN PFIRMAN, ARCHITECT

INDEX OF DRAWINGS:

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- C2 SITE DETAILS

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- A1.1 BUILDING #1 ELEVATIONS
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- A1.3 CROSS SECTION

- A2.0 BUILDING #2 PLANS
- A2.1 BUILDING #2 ELEVATIONS

- A3.0 BUILDING #2 PLANS
- A3.1 BUILDING #2 ELEVATIONS
- A3.2 GATE/FENCE DETAILS



Approved Const. Plan
 Nicole Smith 8/21/18
 C. Wake 9/5/18

RECEIVED
 AUG 28 2018
 PLANNING DIVISION

REVISIONS:

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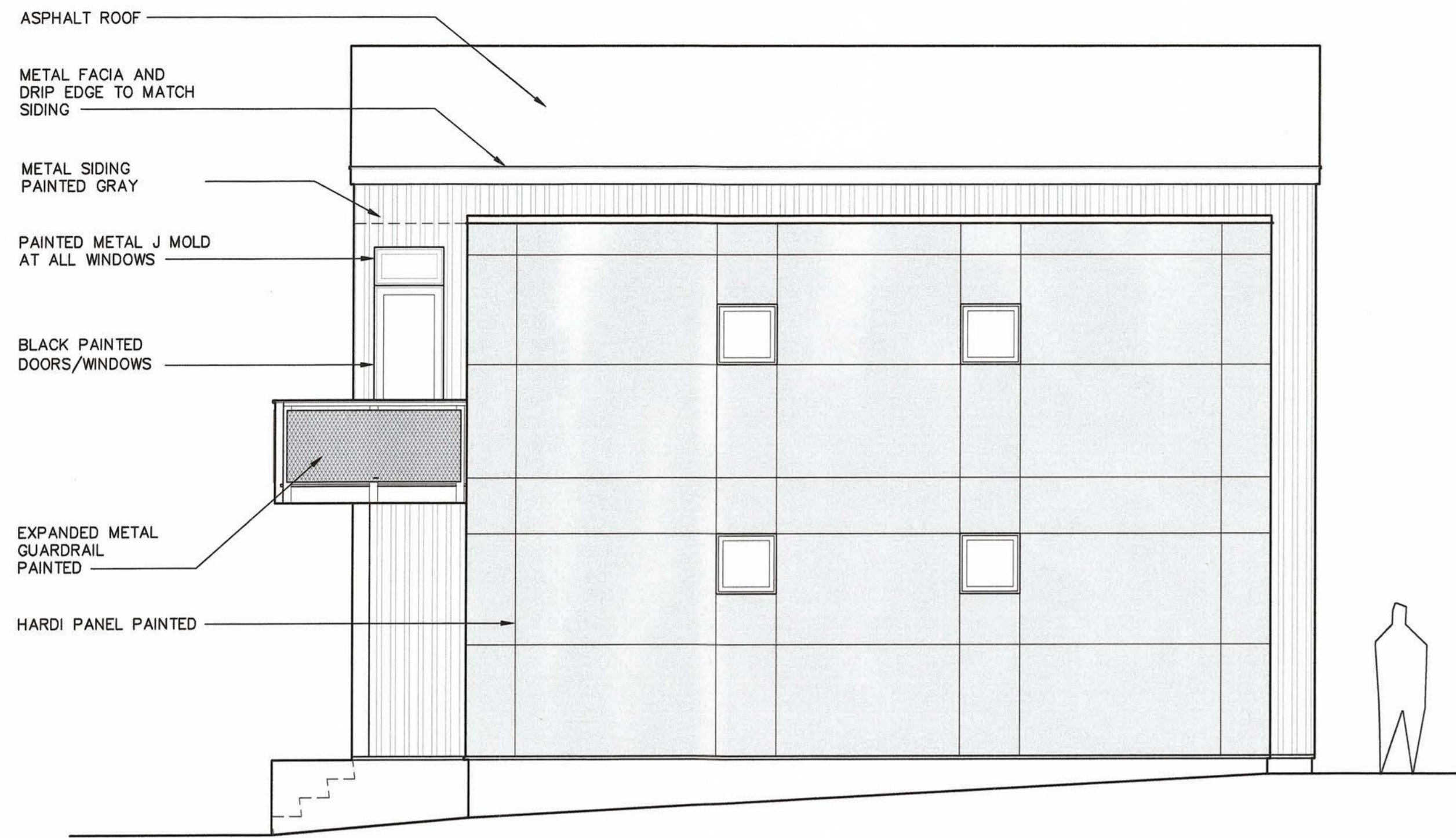
LaRue Townhomes
 301 MARTIN STREET
 WILMINGTON, NORTH CAROLINA, NC

SHEET:

COV

COVER

Con. Docs.
 June 13, 2018



UNIT #3

3/A1.1 BUILDING #1 SIDE ELEVATION

1/4" = 1'-0"



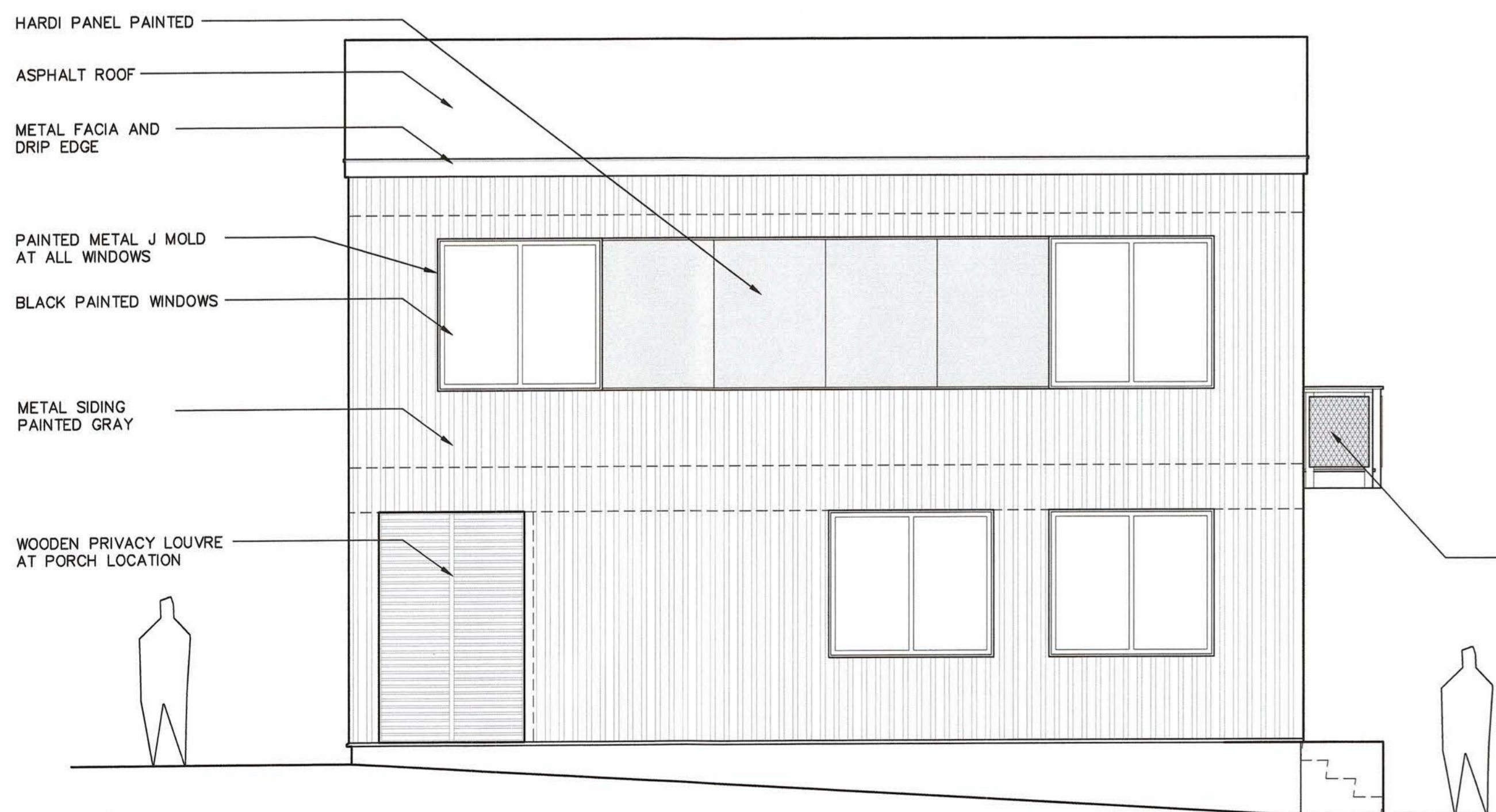
UNIT #3

UNIT #2

UNIT #1

2/A1.1 BUILDING #1 REAR ELEVATION

1/4" = 1'-0"



UNIT #1

4/A1.1 BUILDING #1 SIDE ELEVATION

1/4" = 1'-0"



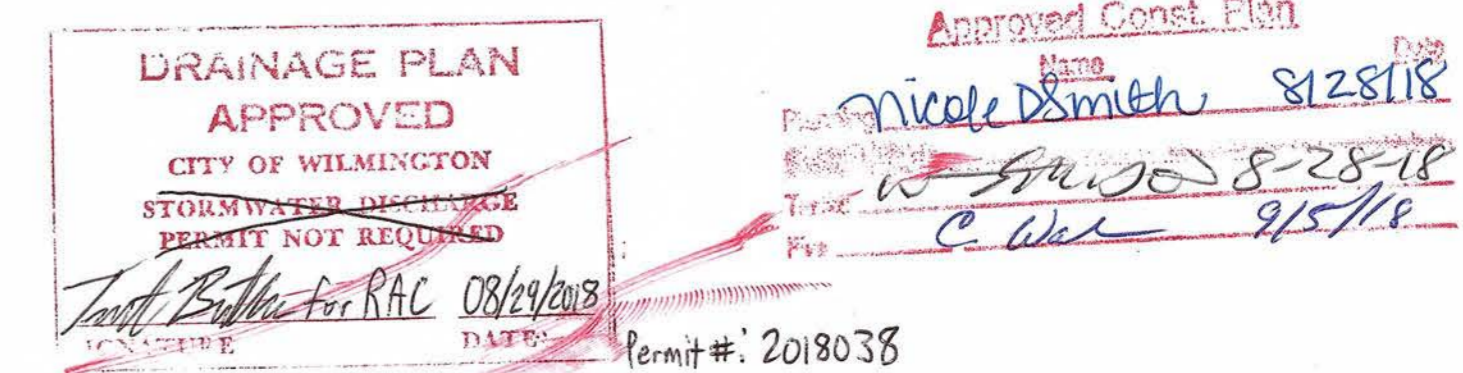
UNIT #1

UNIT #2

UNIT #3

1/A1.1 BUILDING #1 FRONT ELEVATION

1/4" = 1'-0"



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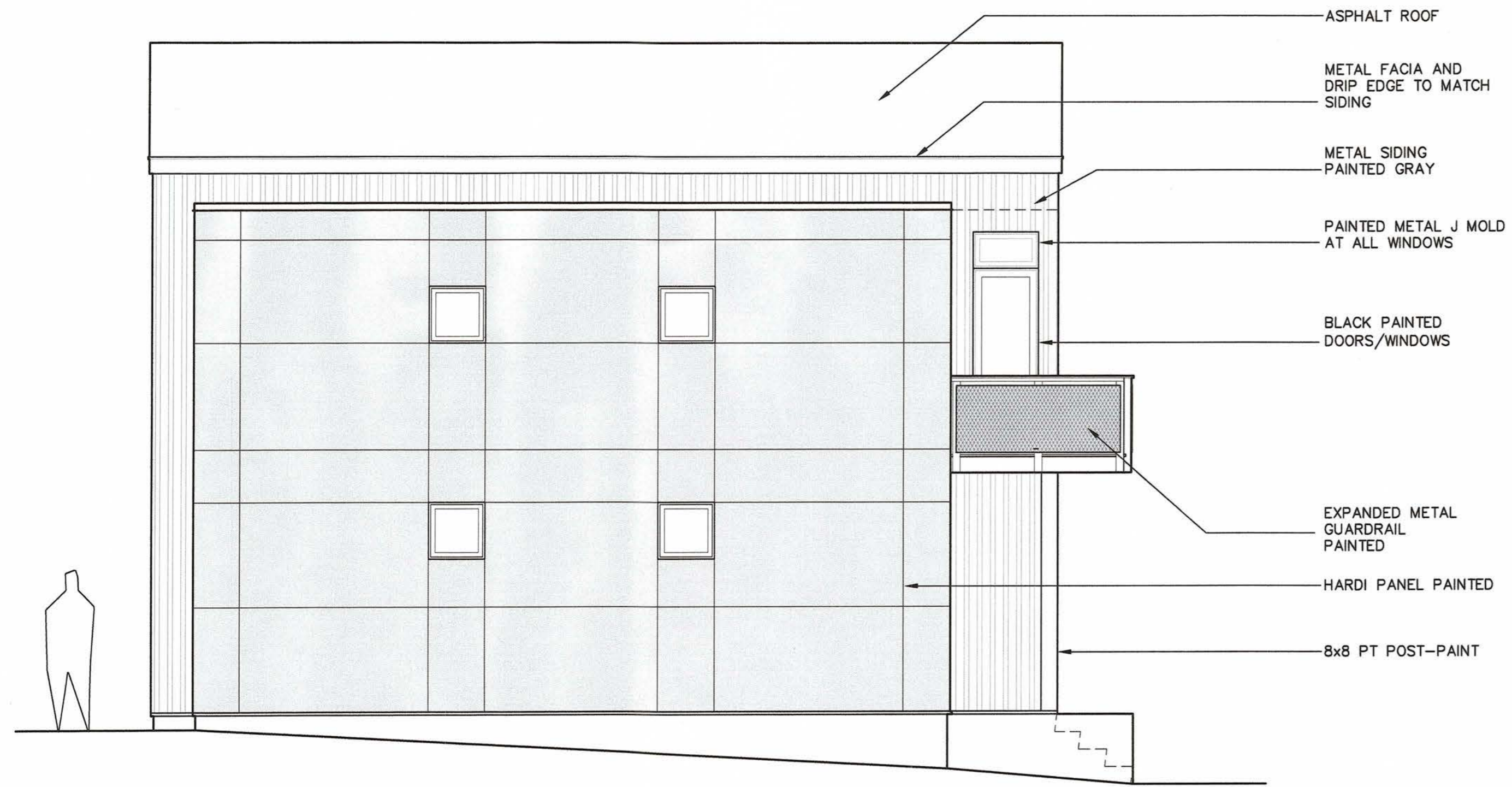
LaRue Townhomes
301 MARTIN STREET
WILMINGTON, NORTH CAROLINA, NC

SHEET:

A1.1

BUILDING #1
ELEVATIONS

Con. Docs.
June 13, 2018



UNIT #4

3/A2.1 BUILDING #2 SIDE ELEVATION

1/4" = 1'-0"

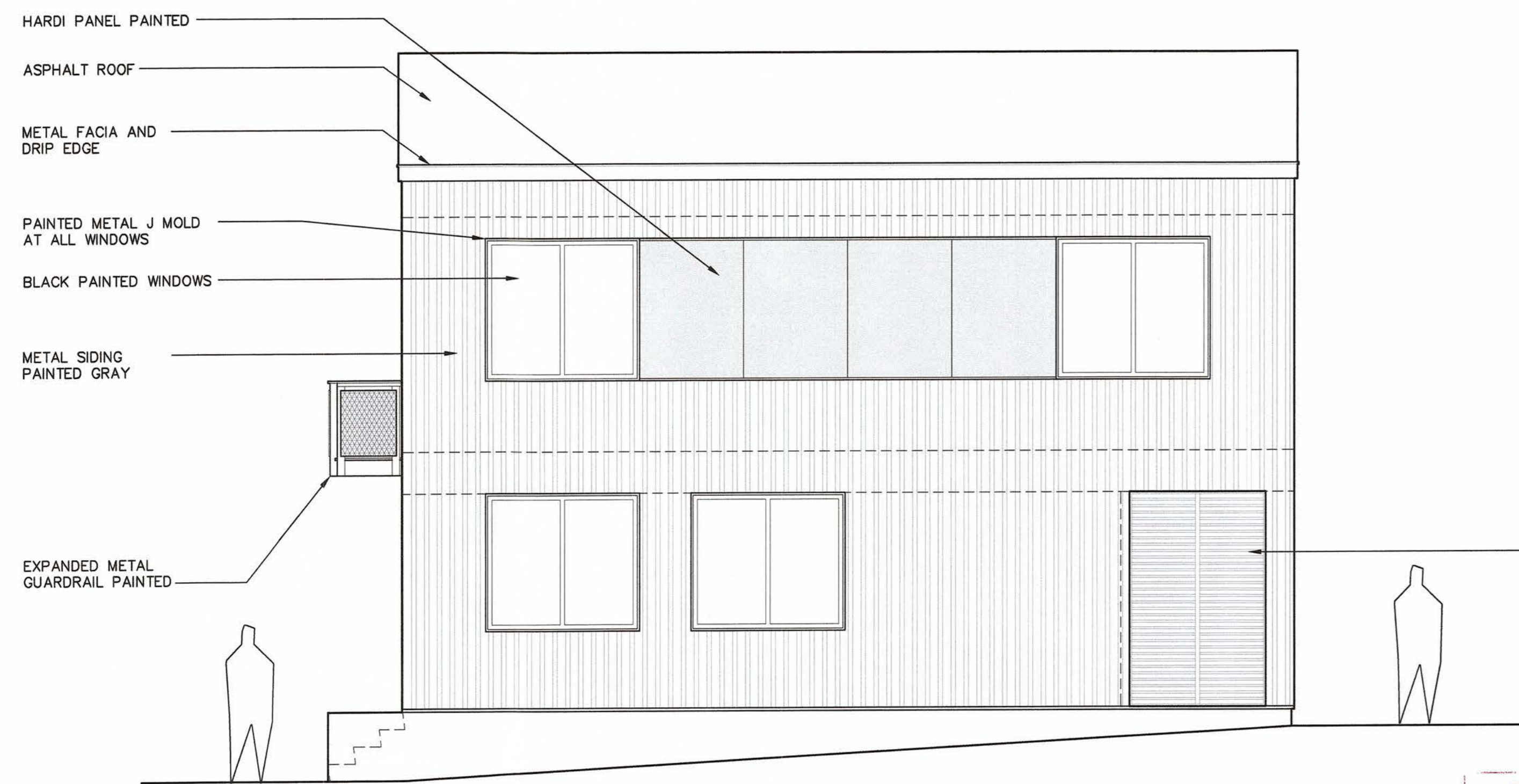


UNIT #5

UNIT #4

2/A2.1 BUILDING #2 REAR ELEVATION

1/4" = 1'-0"



UNIT #5

4/A2.1 BUILDING #2 SIDE ELEVATION

1/4" = 1'-0"



UNIT #4

UNIT #5

1/A2.1 BUILDING #2 FRONT ELEVATION

1/4" = 1'-0"

DRAINAGE PLAN APPROVED
 CITY OF WILMINGTON
 STORMWATER DISCHARGE PERMIT NOT REQUIRED
 Signature: *T. RAC* DATE: 08/29/2018
 Permit #: 2018038

Approved Const. Plan
 Name: *Nicole Donita* Date: *8/28/18*
 Title: *W. Smith* Date: *8-28-18*
 Pre: *C. DeLo* Date: *9/1/18*



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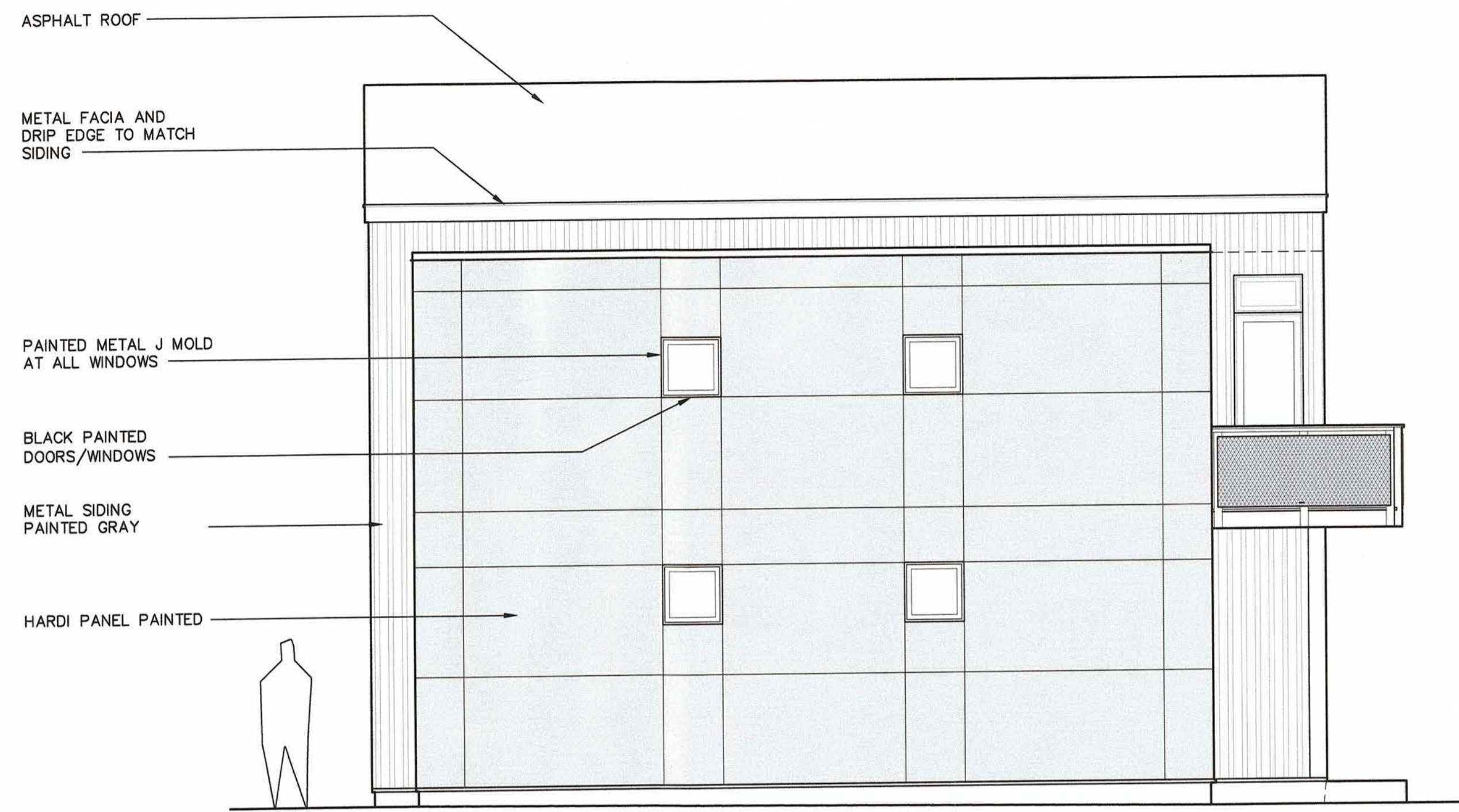
LaRue Townhomes
 301 MARTIN STREET
 WILMINGTON, NORTH CAROLINA, NC

SHEET:

A2.1

BUILDING #2 ELEVATIONS

Con. Docs.
 June 13, 2018



UNIT #6

3/A3.1 BUILDING #3 SIDE ELEVATION

1/4" = 1'-0"



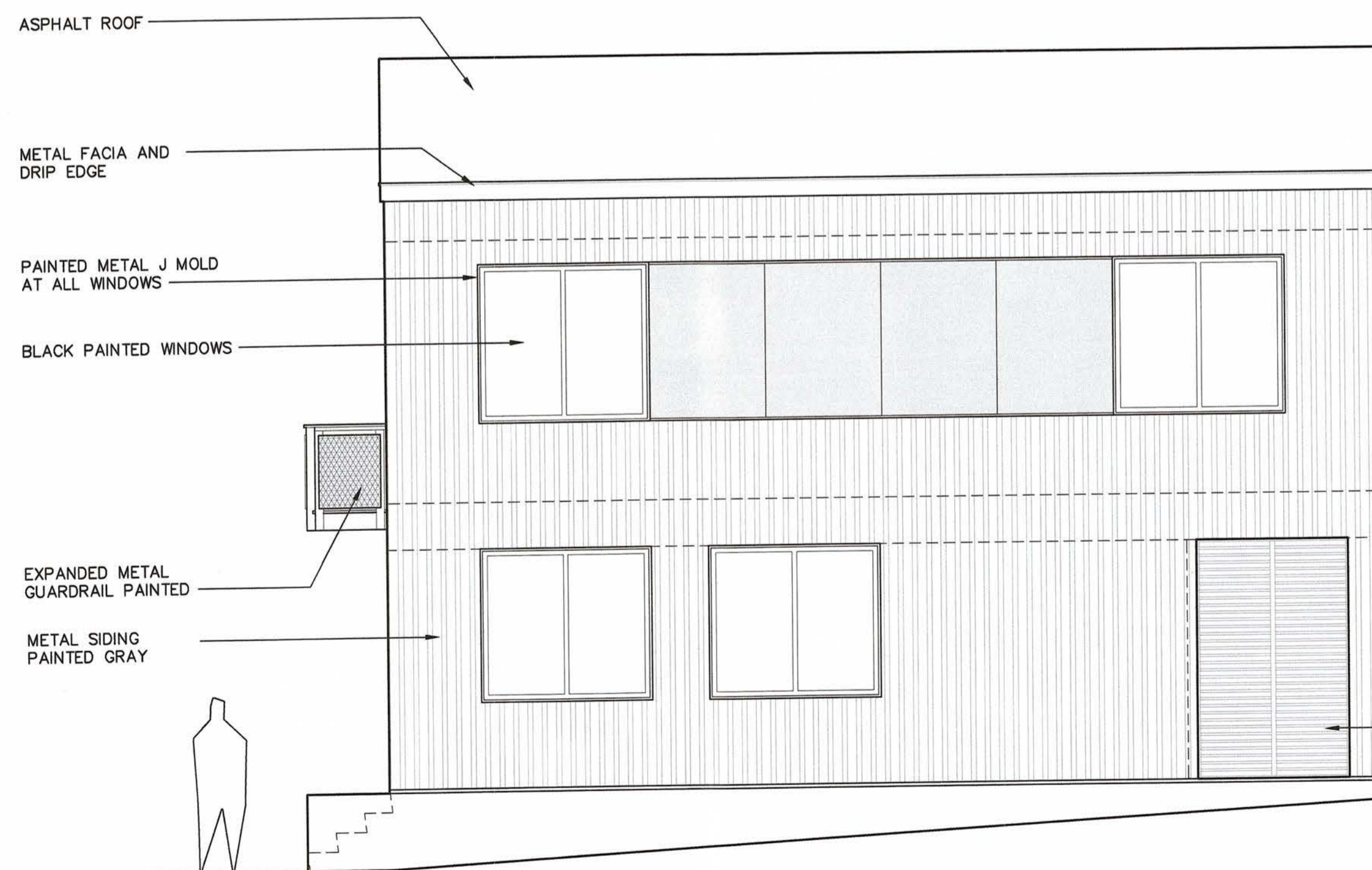
UNIT #8

UNIT #7

UNIT #6

2/A3.1 BUILDING #3 REAR ELEVATION

1/4" = 1'-0"



UNIT #8

4/A3.1 BUILDING #3 SIDE ELEVATION

1/4" = 1'-0"



UNIT #6

UNIT #7

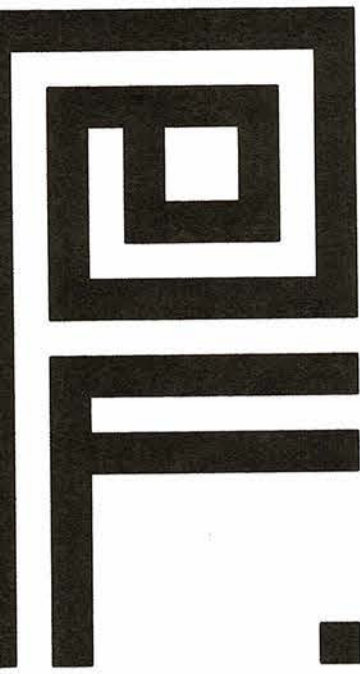
UNIT #8

1/A3.1 BUILDING #3 FRONT ELEVATION

1/4" = 1'-0"

**DRAINAGE PLAN
APPROVED**
CITY OF WILMINGTON
STORMWATER DISCHARGE
PERMIT NOT REQUIRED
Todd Butler For RAC 08/29/2018
Permit #: 2018038

Approved Const. Plan
Name: Nicole D Smith 8/28/18
Date: 8/28/18
Title: C. Wale 9/8/18



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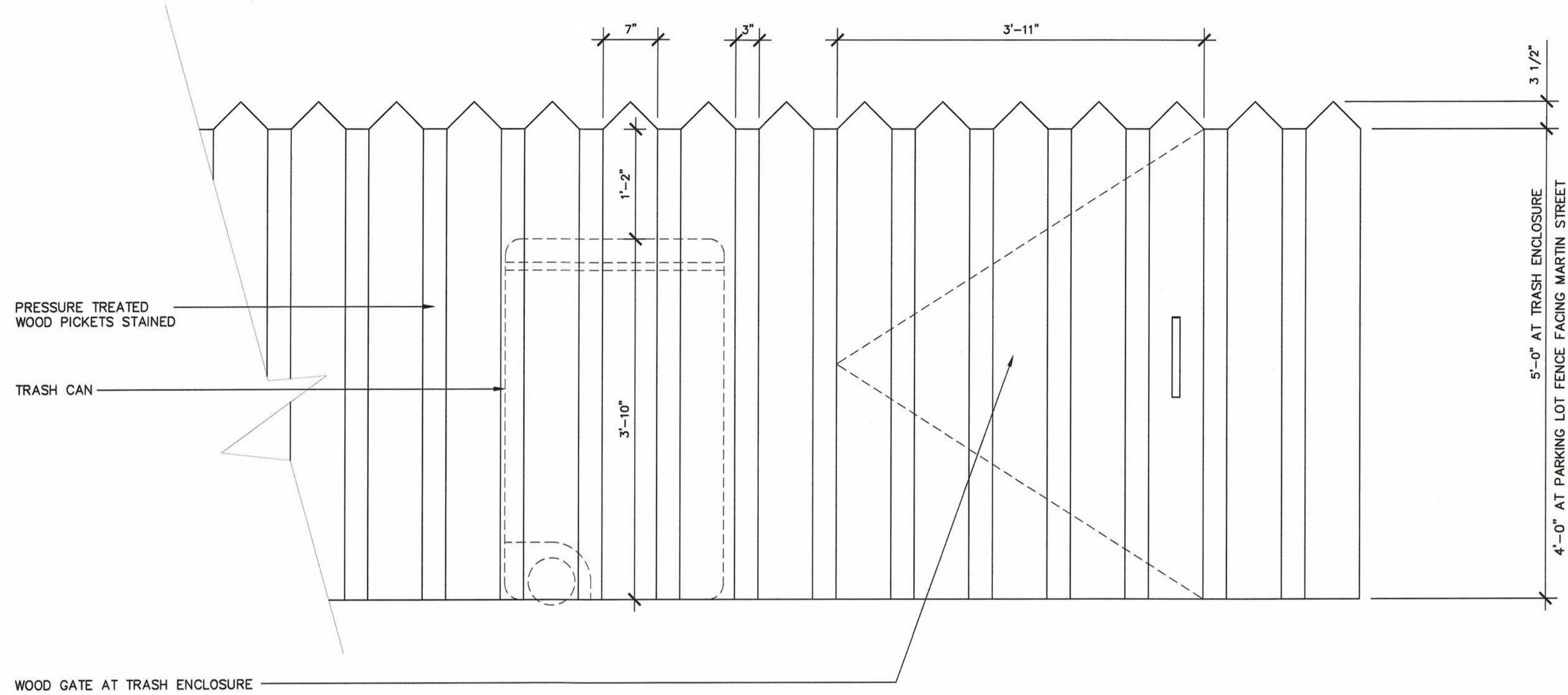
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A3.1

BUILDING # 3
ELEVATIONS

Con. Docs.

June 13, 2018



3/A3.1 TRASH CAN ENCLOSURE/PARKING LOT FENCE ELEVATION

1" = 1'-0"

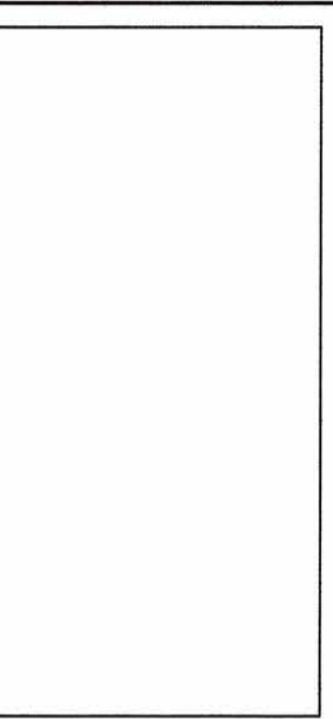
**DRAINAGE PLAN
APPROVED**
CITY OF WILMINGTON
STORMWATER DISCHARGE
PERMIT NOT REQUIRED
Trent Balle for RAC 08/28/18
Permit #: 2018038

Approved Const. Plan
Name: *Nicole D Smith* Date: *8/28/18*
Planning: *Nicole D Smith*
Traffic: *W. Smith*
File: *C. W. H.*



KEVIN PFIRMAN
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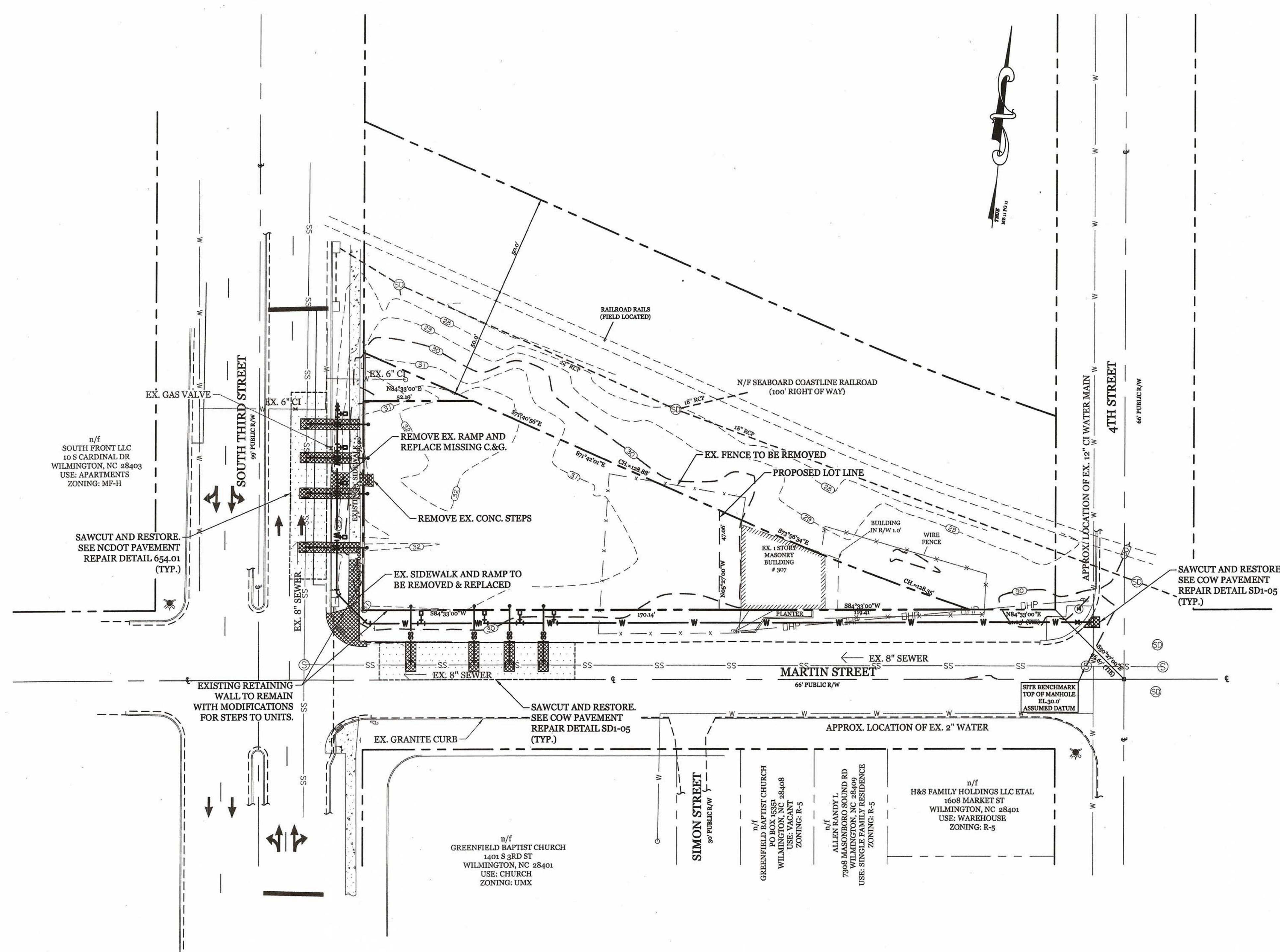
LaRue Townhomes
301 MARTIN STREET
WILMINGTON, NORTH CAROLINA, NC

SHEET:

A3.2

MISC. DETAILS

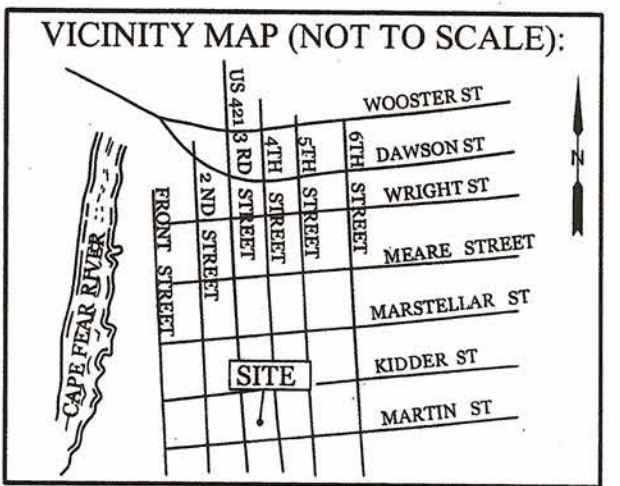
Con. Docs.
AUG 8, 2018



SITE DATA

PARCEL ID: R05413-036-005-000
 CURRENT ZONING: UMX
 CAMA LAND USE CLASSIFICATION: URBAN
 PROJECT ADDRESS: 307 MARTIN ST. WILMINGTON, NC 28401
 CURRENT OWNER: KEVIN PFIRMAN ARCHITECT, PLLC 307 MARTIN ST. WILMINGTON, NC 28401

TOTAL ACREAGE IN PROJECT BOUNDARY: 13,774 S.F. (0.32 AC.)
 EXISTING ON-SITE IMPERVIOUS AREAS: CONCRETE RETAINING WALL & STEPS: 120 S.F.
 EXISTING ON-SITE IMPERVIOUS AREAS TO BE REMOVED: CONCRETE STEPS: 27 S.F.



REVISIONS

NO.	DATE	DESCRIPTION

INTRACOASTAL ENGINEERING, PLLC
 5725 Oleander Dr. Unit E-7
 Wilmington, North Carolina 28403
 Phone: 910.859.8983
 Email: charlie@intracoastalengineering.com
 License Number: P-0662

EXISTING CONDITIONS/
 DEMOLITION PLAN
 FOR
LARUE TOWNHOMES
 CITY OF WILMINGTON
 NEW HANOVER COUNTY, NC

CLIENT INFORMATION:

Kevin Pfirman
 Architect, PLLC
 307 Martin Street
 Wilmington, NC 28401
 PH. 910-538-2170

DRAWN:	JAE	SHEET SIZE:	24x36
CHECKED:	CDC	DATE:	8/6/2018
APPROVED:	CDC	SCALE:	1" = 30'
PROJECT NUMBER:	2018-007		

DRAWING NUMBER: **C-0**
 1 OF 6

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division

APPROVED DRAINAGE PLAN

Date: 08/29/2018 Permit # 2018038
 Signed: *Trent Butler* for RAC

Approved Construction Plan

Name	Date
Planning: <i>Nicole Dornier</i>	<i>8/28/18</i>
Public Utilities: <i>N/A</i>	
Traffic: <i>W. G. ...</i>	<i>8-28-18</i>
Fire: <i>C. ...</i>	<i>7/5/18</i>

LEGEND

- PROPERTY LINE
- PROPOSED LOTLINE
- ADJACENT
- EX. EDGE OF PAVEMENT
- DEMOLITION AREA
- MILL & PAVEMENT OVERLAY IN ACCORDANCE W/ NCDOT OR COW

Scale: 1"=30'

SITE DATA

PARCEL ID: R05413-036-005-000
CURRENT ZONING: UMX
CAMA LAND USE CLASSIFICATION: URBAN
PROJECT ADDRESS: 307 MARTIN ST. WILMINGTON, NC 28401
CURRENT OWNER: KEVIN PFIRMAN ARCHITECT, PLLC 307 MARTIN ST. WILMINGTON, NC 28401

TOTAL ACREAGE IN PROJECT BOUNDARY: 13,774 S.F. (0.32 AC)
BUILDING HEIGHT: 25' (TWO STORIES) / 35' MAX
PER UNIT GFA BREAKDOWN (8) TWO BEDROOM UNITS TOTAL (3 BUILDINGS):
1st FLOOR GFA: 510 S.F.
2nd FLOOR GFA: 510 S.F.
TOTAL GFA PER UNIT: 1,020 S.F.
TOTAL SITE GFA: 8,160 S.F.
BUILDING SETBACKS:
FRONT: REQUIRED= 0' PROPOSED= 3'
SIDE: REQUIRED= 0' PROPOSED= 3' L / 7' R
REAR: REQUIRED= 0' PROPOSED= 6.85'

CALCULATION FOR BUILDING COVERAGE:
PROPOSED COVERAGE 4,600 S.F. ÷ 13,774 S.F. = 33.3%

PROPOSED ON-SITE IMPERVIOUS AREAS:
BUILDINGS 4,600 S.F.
ASPHALT PARKING 2,977 S.F.
CONCRETE SIDEWALK/RET. WALL 1,404 S.F.
TOTAL 8,981 S.F. ÷ 13,774 S.F. = 65.2%

TOTAL ON-SITE IMPERVIOUS AREA:
PROPOSED IMPERVIOUS AREA: 8,981 S.F.
EX. IMPERVIOUS AREA TO REMAIN: 93 S.F.
TOTAL: 9,074 S.F. (65.9%)

OFF-SITE IMPERVIOUS AREAS:
CONCRETE DRIVEWAY APRON 550 S.F.
CONCRETE SIDEWALK 1,252 S.F.
TOTAL 1,802 S.F.

OFF STREET PARKING REQUIRED:
REQUIRED: 0 SPACES (2.5 Spaces/du = 20 SPACES Max)
PROVIDED: 8 SPACES (1 H.C. SPACE)

BICYCLE PARKING REQUIRED:
REQUIRED: 8 SPACES (1 Space per dwelling unit)
PROVIDED: 10 SPACES

LOADING SPACE REQUIRED:
REQUIRED: 0 SPACE
PROVIDED: 0 SPACE

OPEN SPACE REQUIREMENT: (0.03 AC. per dwelling unit)
0.3 X 8 du = 0.24 AC
PROVIDED: 0.0 AC (REQUESTING EXEMPTION)

EXISTING SEWER & WATER DEMAND:
SEWER = 0 GPD
WATER = 0 GPD
PROPOSED SEWER & WATER DEMAND:
SEWER = 1,920 GPD
WATER = 1,920 GPD

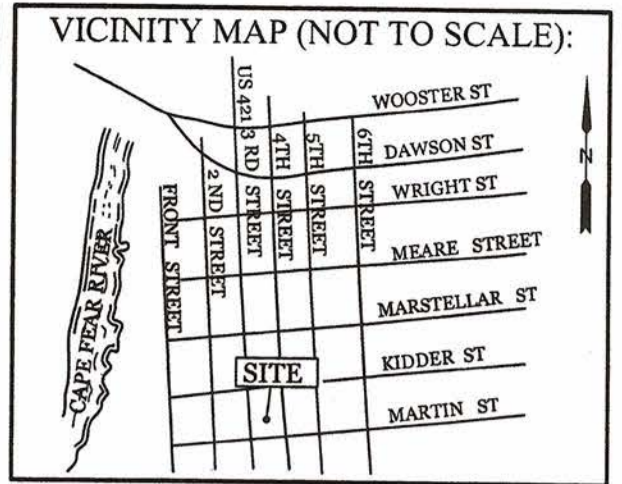
DEVELOPMENT NOTES:
1. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
2. PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
3. SEE ARCHITECTURAL PLAN FOR DETAILS AND SPECIFICATIONS.

SURVEY NOTES:
1. EXISTING SURVEYING PERFORMED BY PATRICK C. BRISTOW - PROFESSIONAL LAND SURVEYOR (L-4148)
2. NO REGULATED TREES EXIST ON SITE.

FIRE & SAFETY NOTES:
1. CONSTRUCTION TYPE: V-B (RESIDENTIAL)
2. BUILDINGS WILL NOT BE SPRINKLED
3. PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS.
4. ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
5. ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
6. HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.
7. PROPOSED GATE AT DRIVEWAY TO BE SIREN ACTIVATED.
8. IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.

TRAFFIC NOTES:
1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. [DETAIL SD 15-13 & SD 11-3 COWF TECH STDS]
2. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS. [DETAIL SD 15-13 & SD 11-3 COWF TECH STDS]
3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
4. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
5. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
6. A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN. (SD 15 -14 COWF TECH STDS)
7. CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
8. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30° TO 10°.

UTILITY NOTES:
1. EXISTING WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS.
2. ALL PROPOSED UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS & TELEPHONE SHALL BE INSTALLED UNDERGROUND.
3. ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CFPWA TECHNICAL SPECIFICATIONS & STANDARDS.
4. PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND N.C.D.E.N.R. HAS ISSUED THEIR "FINAL APPROVAL". CALL 332-6558 FOR INFORMATION.
5. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCOCHR OR ASSE.
6. IF CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
7. WHEN PVC WATER MAINS AND SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED, SINGLE-STRAND COPPER WIRE INSTALLED & STRAPPED TO THE PIPES WITH DUCT TAPE. THIS IS TO BE ACCESSIBLE IN ALL VALVES AND METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
8. SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
9. SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE AT RIGHT-OF-WAY LINE. SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR OR MUST ORIGINATE IN MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
10. ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF CLASS 50 D.I.P. WITH PROTECTO 401 CERAMIC EPOXY LINING.
11. MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
12. NO FLEXIBLE COUPLINGS SHALL BE USED.
13. ALL STAINLESS STEEL FASTENERS SHALL BE 316.
14. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LOCO AT 1-800-632-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB & GUTTER, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
15. THE BELLSOUTH CONTACT IS STEVE DAYVAULT, BUILDING INDUSTRY CONSULTANT, AT 910-392-8712. CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.
16. THE PROCESS FOR TELEPHONE CABLE PLACEMENT: * FINAL GRADE WILL NEED TO BE ESTABLISHED. * POWER WILL PLACE THEIR CABLE FIRST - APPROXIMATELY 3' DEEP. * BELLSOUTH & CABLE TV WILL THEN PLACE THEIR CABLE AT APPROXIMATELY 2' DEEP.
17. SOLID WASTE DISPOSAL IS COW CURBSIDE PICKUP.
18. SHOULD ADDITIONAL SERVICES BE LOCATED DURING CONSTRUCTION, THEY MUST EITHER BE UTILIZED OR ABANDONED.
19. EACH OF THE (8) DWELLING UNITS TO BE SERVED VIA 5/8" WATER METER AND 4" SS SERVICE.



REVISIONS

REV. 8-16-18:	REVISED GATE NOTE, ADDED FENCE AROUND PROPERTY.

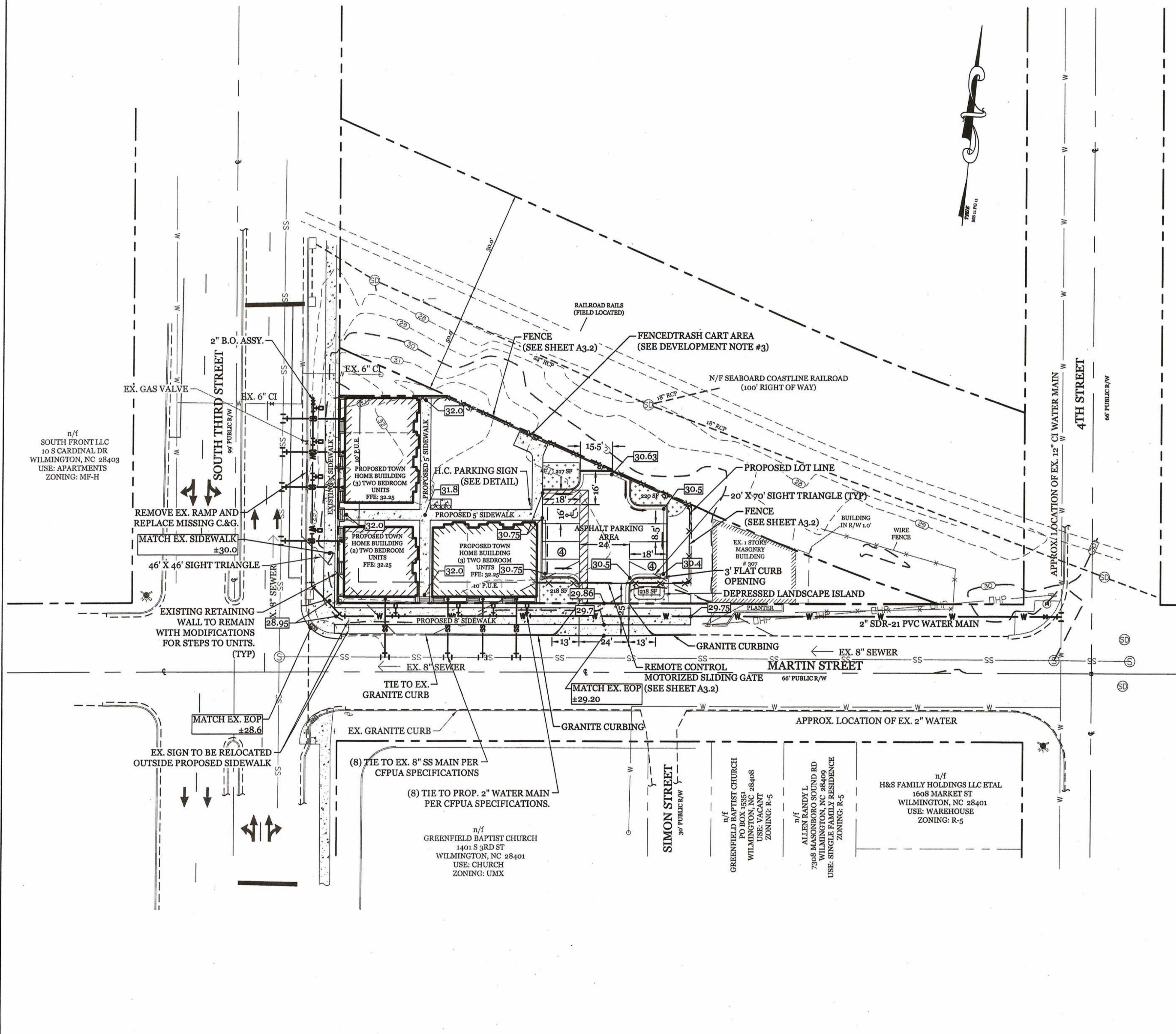
INTRACOASTAL ENGINEERING, PLLC
5725 Oleander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: 910.859.8983
Email: charlie@intracoastalengineering.com
License Number: P-0662

SITE, GRADING, DRAINAGE, & UTILITIES PLAN FOR LARUE TOWNHOMES
CITY OF WILMINGTON
NEW HANOVER COUNTY, NC

CLIENT INFORMATION:
Kevin Pfirman
Architect, PLLC
307 Martin Street
Wilmington, NC 28401
PH. 910-538-2170

DRAWN:	JAB	SHEET SIZE:	24x36
CHECKED:	CDC	DATE:	8/6/2018
APPROVED:	CDC	SCALE:	1" = 30'
PROJECT NUMBER:	2018-007		

DRAWING NUMBER: **C-1** 2 OF 7



n/f SOUTH FRONT LLC
10 S CARDINAL DR
WILMINGTON, NC 28403
USE: APARTMENTS
ZONING: MF-H

n/f GREENFIELD BAPTIST CHURCH
1401 S 3RD ST
WILMINGTON, NC 28401
USE: CHURCH
ZONING: UMX

n/f GREENFIELD BAPTIST CHURCH
PO BOX 158
WILMINGTON, NC 28408
USE: VACANT
ZONING: R-5

n/f ALLIANCE
7008 MASSENGER SOUTH RD
WILMINGTON, NC 28409
USE: SINGLE FAMILY RESIDENCE
ZONING: R-5

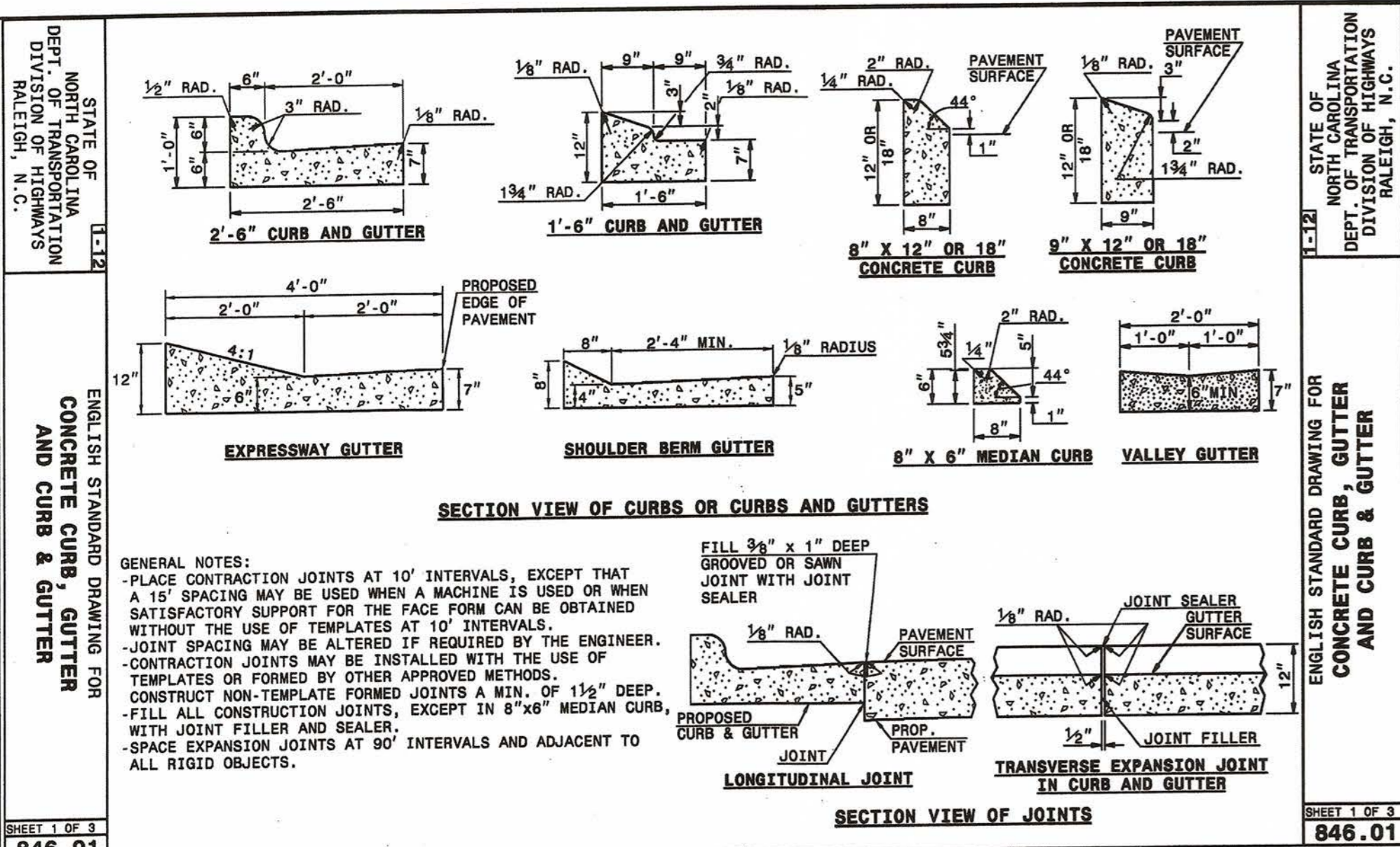
n/f H&S FAMILY HOLDINGS LLC ETAL
1608 MARKET ST
WILMINGTON, NC 28401
USE: WAREHOUSE
ZONING: R-5

City of Wilmington
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 08/24/2018 Permit # 2018038
Signed: Judy Butler for RAC

Name	Date
Nicole D Smith	8/23/18
Public Utilities	N/A
Traffic	W. Smith 8-28-18
Fire	C. W. 9/5/18

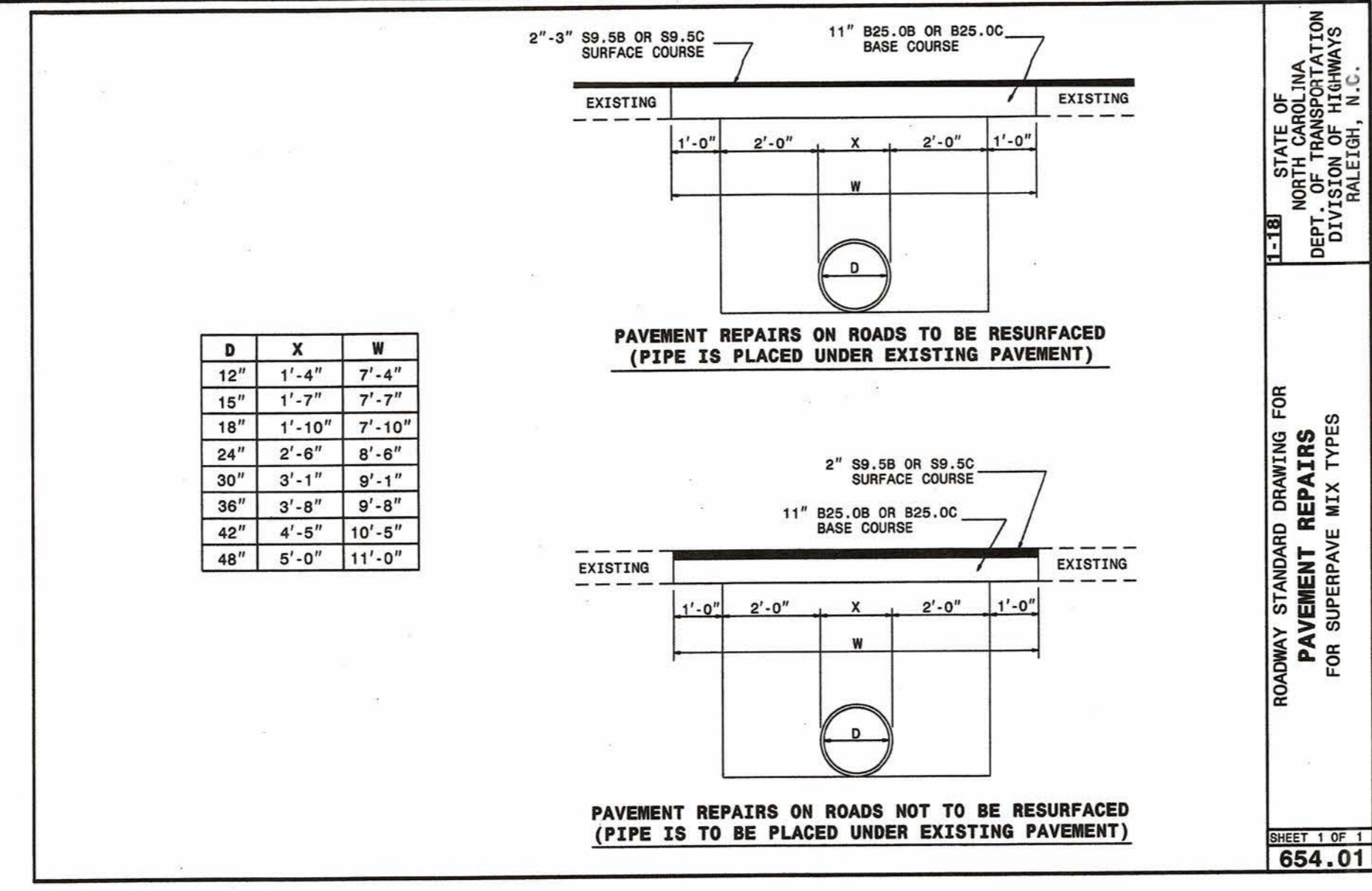
LEGEND

(---)	PROPERTY LINE
(---)	PROPOSED LOTLINE
(---)	ADJACENTS
(---)	PROPOSED EASEMENT
(---)	CENTER LINE
(---)	PROPOSED WATERLINE
(---)	PROPOSED SANITARY SEWER LINE
(---)	TEMPORARY SILT FENCE
(---)	RUNOFF DIRECTION
(---)	PROPOSED BIKE RACK (5 spaces each)
(---)	PARKING LOT INT. LANDSCAPING



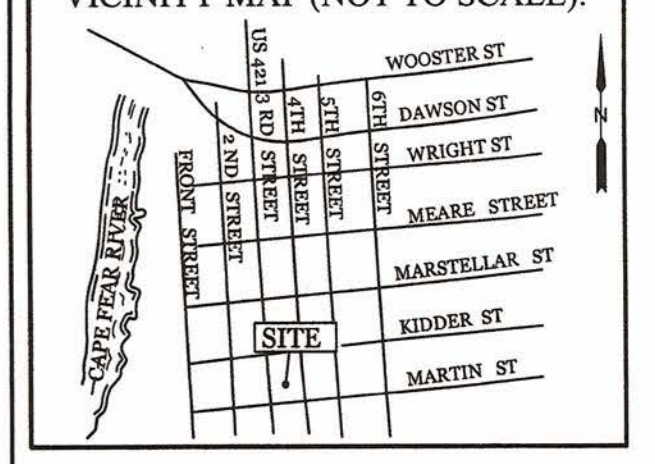
GENERAL NOTES:
 - PLACE CONTRACTION JOINTS AT 10' INTERVALS, EXCEPT THAT A 15' SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10' INTERVALS.
 - JOINT SPACING MAY BE ALTERED IF REQUIRED BY THE ENGINEER.
 - CONTRACTION JOINTS MAY BE INSTALLED WITH THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS.
 - CONSTRUCT NON-TEMPLATE FORMED JOINTS A MIN. OF 1 1/2\"/>

ENGLISH STANDARD DRAWING FOR CONCRETE CURB, GUTTER AND CURB & GUTTER SHEET 1 OF 3 846.01



ROADWAY STANDARD DRAWING FOR PAVEMENT REPAIRS FOR SUPERPAVE MIX TYPES SHEET 1 OF 1 654.01

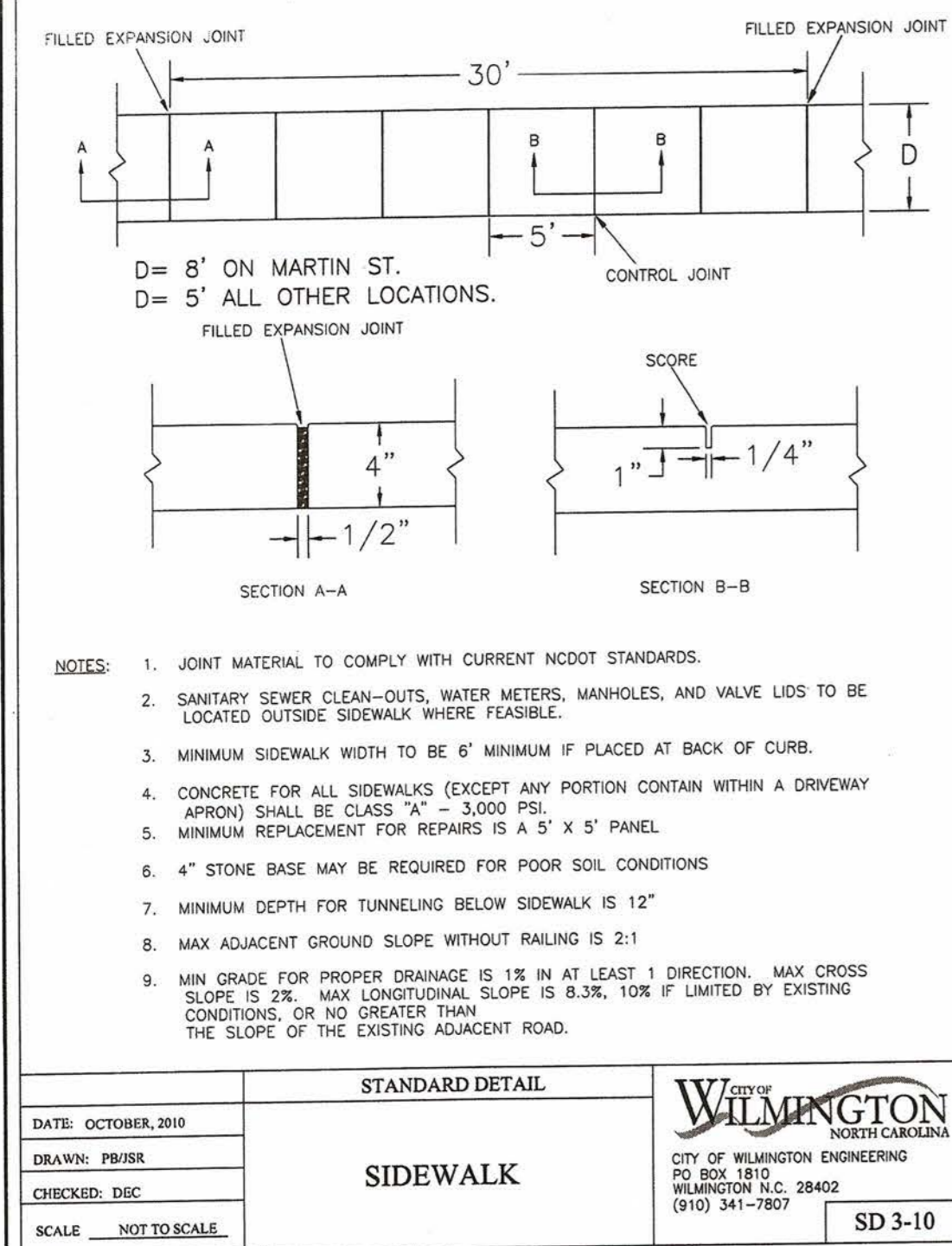
- WORK NOTES:**
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BOTH ON AND ADJACENT TO THE SITE.
 - CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE DESIGNATED TO REMAIN.
 - GRUBBING AND STRIPPING: CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION.
 - MUCKING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.
 - DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
 - FILL AND COMPACTION SHOULD COMPLY WITH GEOTECHNICAL RECOMMENDATIONS.
 - THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT AND FILL QUANTITIES AND COMPLETE INSTALLATION TO SPECIFIED GRADES.
 - THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE PROPERLY PERMITTED FACILITY AS REQUIRED.
 - INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
 - NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. BEFORE COMMENCING ANY EXCAVATIONS IN OR ALONG ROADWAYS OR RIGHTS-OF-WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PERSONNEL OF THEIR INTENT TO EXCAVATE, IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO EXCAVATING.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/ RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE PERSONNEL.
 - CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE & CURB BOXES TO FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
 - EXISTING SURVEYING PERFORMED BY PATRICK C. BRISTOW - PROFESSIONAL LAND SURVEYOR (L-4148)
 - THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE ENGINEER PRIOR TO INSTALLATION.
 - THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.
 - ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO MEET ALL LOCAL, STATE, AND CFPWA CODES. METERS, TAPS, MATERIALS, WORKMANSHIP AND ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS.
 - ALL BACKFILL FROM UTILITY INSTALLATION MUST BE COMPACTED OR AMENDED TO PROVIDE TRAFFIC BEARING CAPACITY. GEOTECHNICAL ENGINEER TO BE CONSULTED AT CONTRACTOR'S COST AS NECESSARY.
 - ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION. ALL AREAS SHALL BE SLOPED TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES.
 - CONCRETE FOR WALKS, CURBS AND DRIVES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS - AIR ENTRAINED.
 - FIELD TESTING SHALL BE DONE BY AN INDEPENDENT TESTING LABORATORY PAID FOR BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID FOR BY THE CONTRACTOR.
 - ALL SIDEWALKS SHALL BE FREE OF CRACKS, BREAKS, OR ANY OTHER DEFECT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.



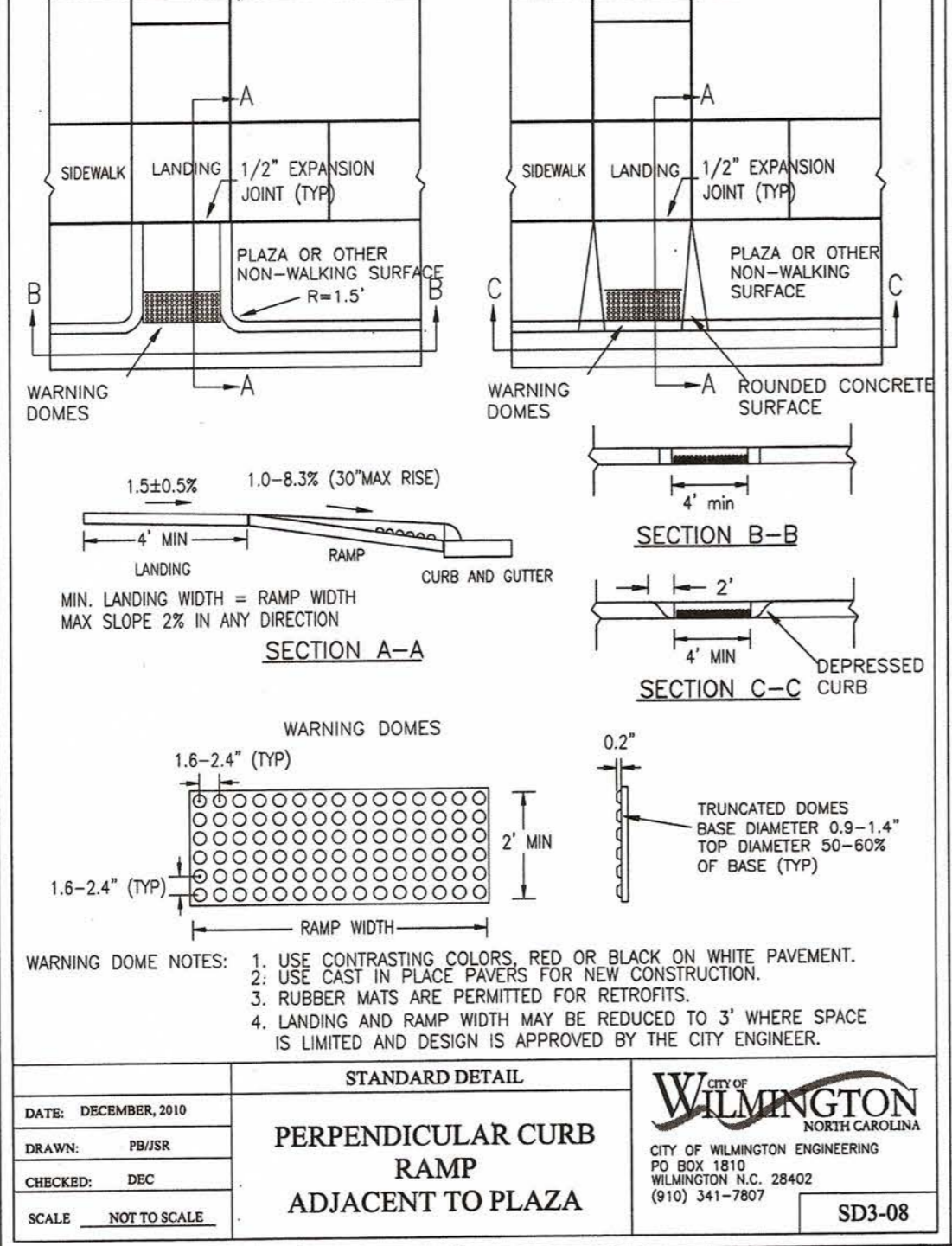
REVISIONS

NO.	DATE	DESCRIPTION

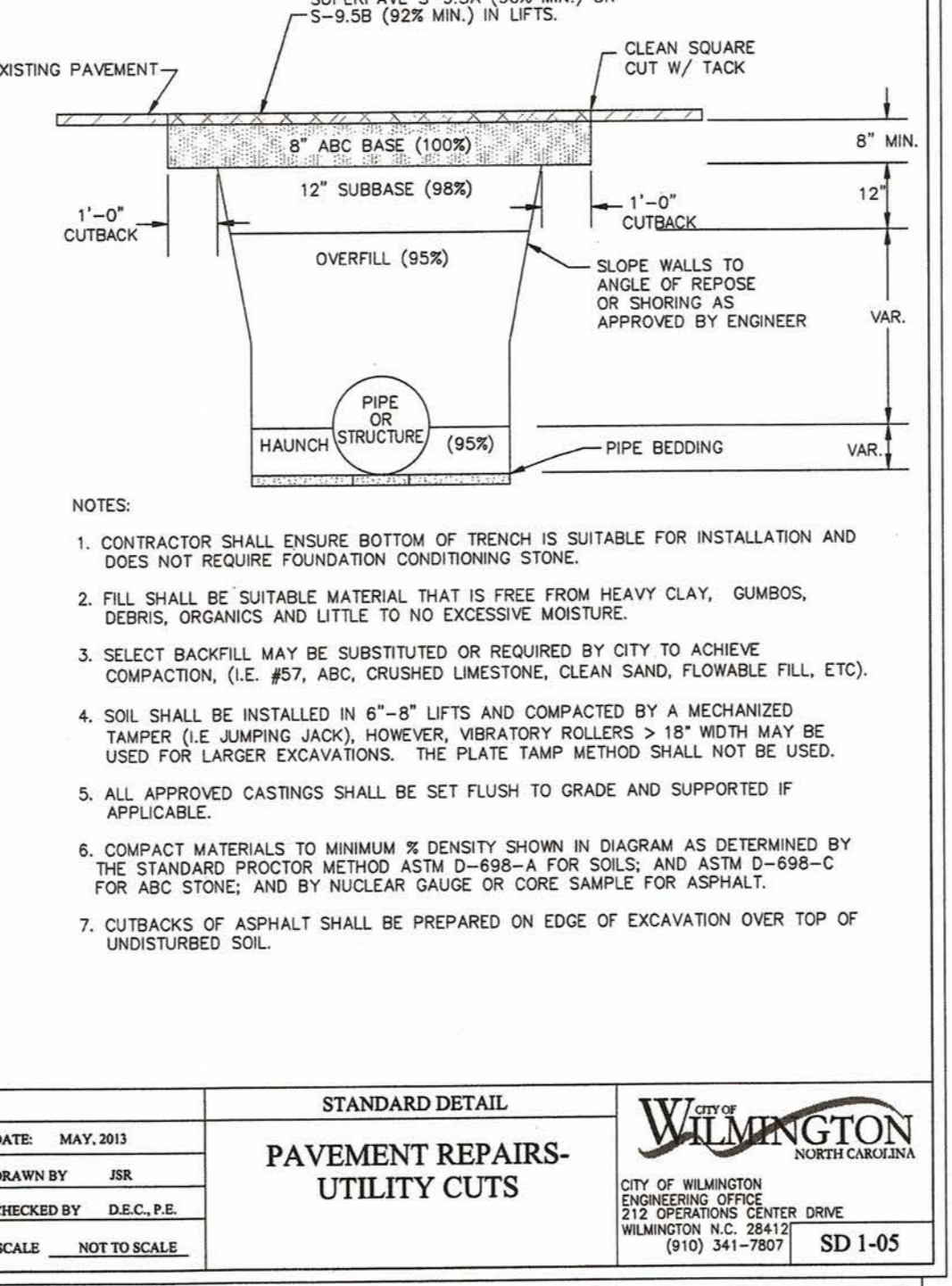
INTRACOASTAL ENGINEERING, PLLC
 5725 Oleander Dr. Unit E-7
 Wilmington, North Carolina 28403
 Phone: 910.859.8983
 Email: charlie@intracoastalengineering.com
 License Number: P-0662



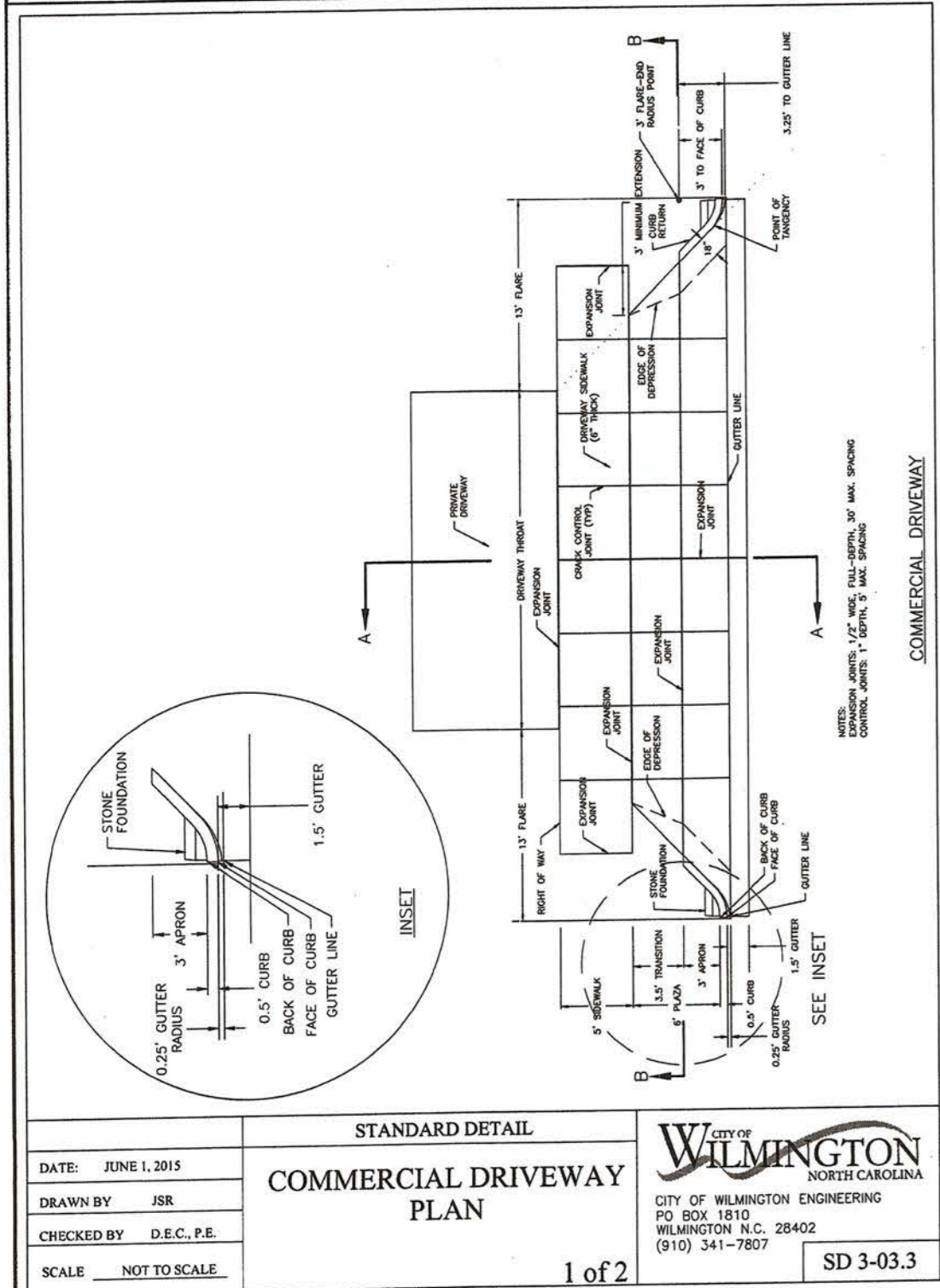
STANDARD DETAIL: SIDEWALK SD 3-10



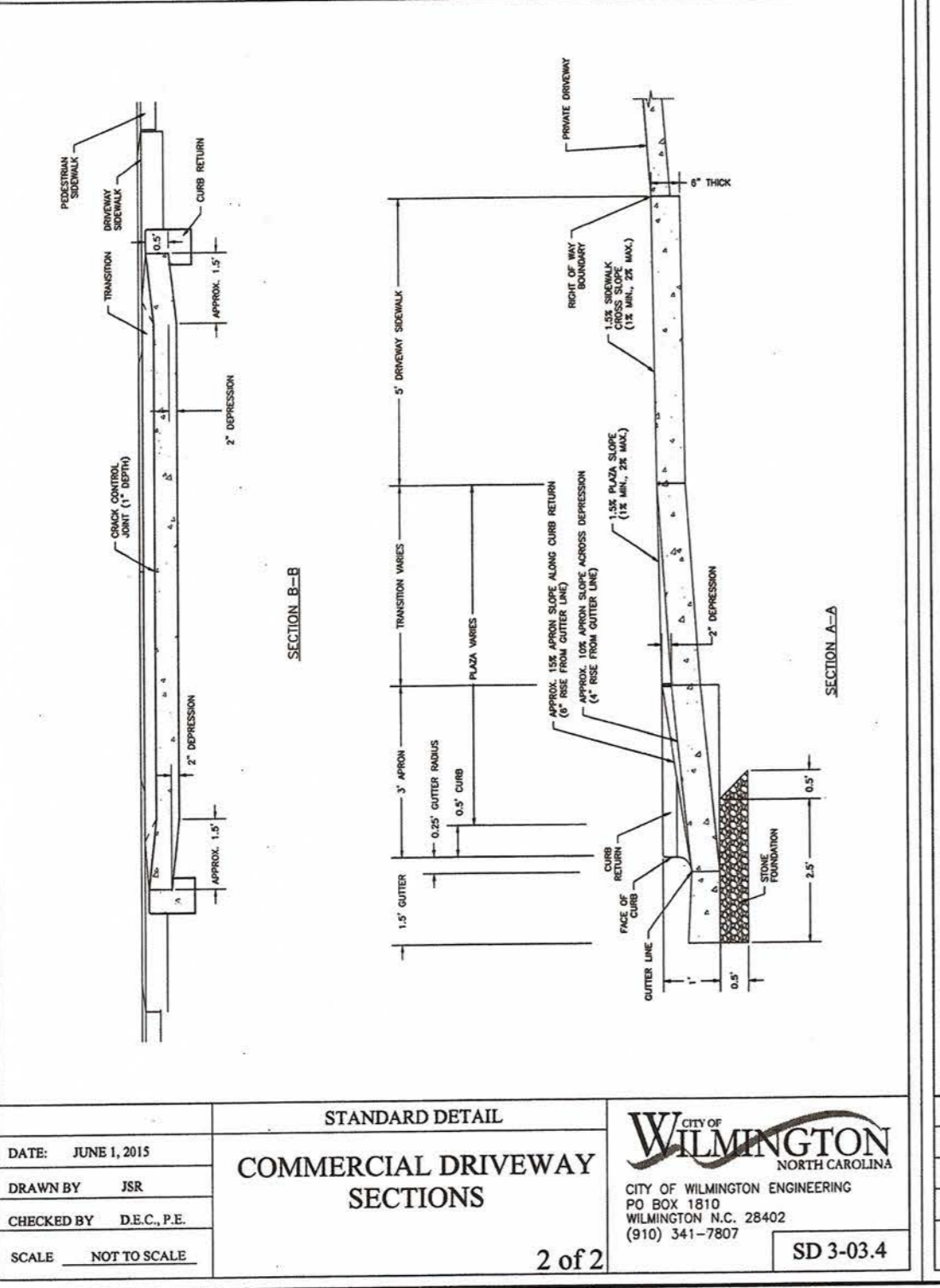
STANDARD DETAIL: PERPENDICULAR CURB RAMP ADJACENT TO PLAZA SD3-08



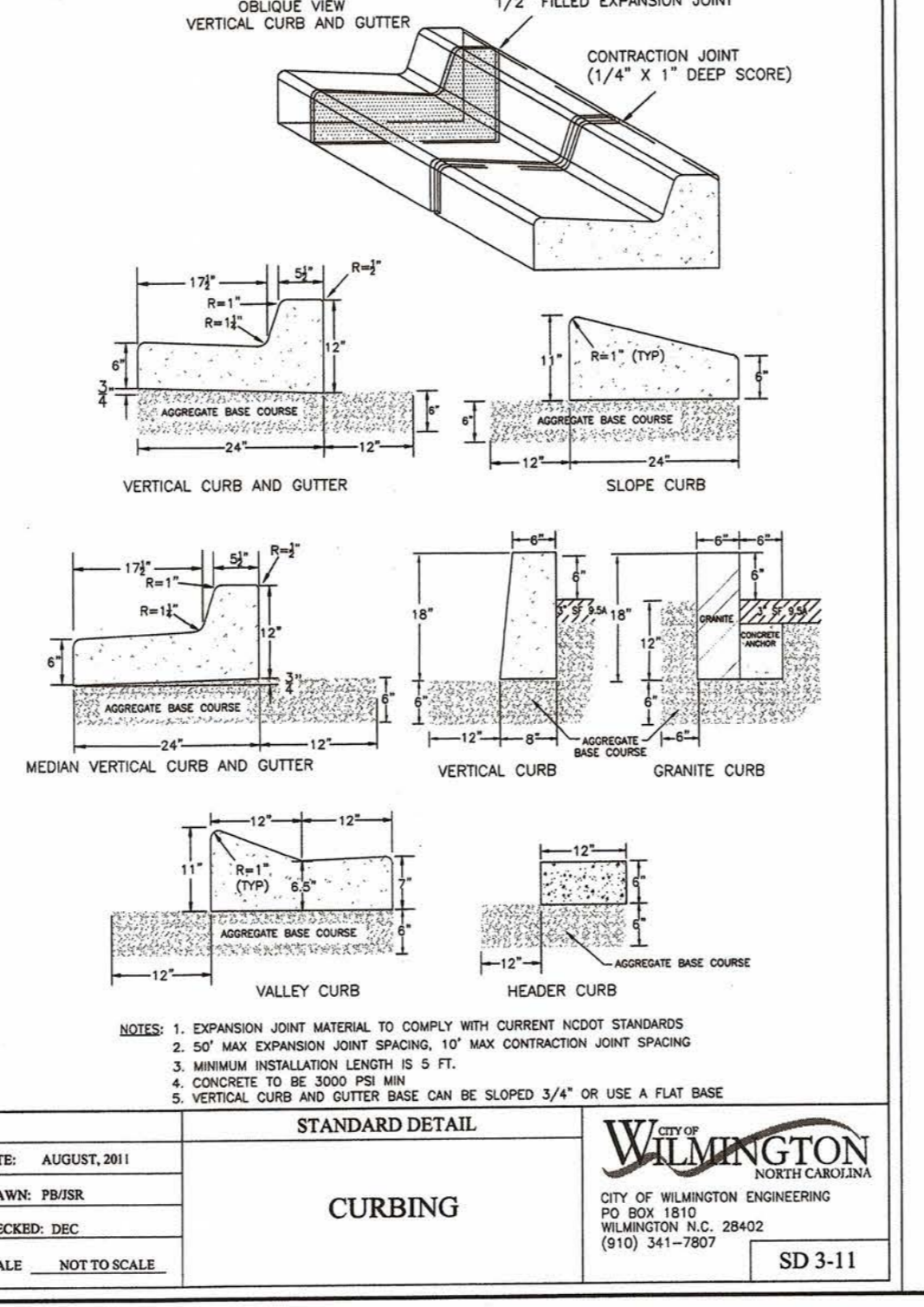
STANDARD DETAIL: PAVEMENT REPAIRS-UTILITY CURTS SD 1-05



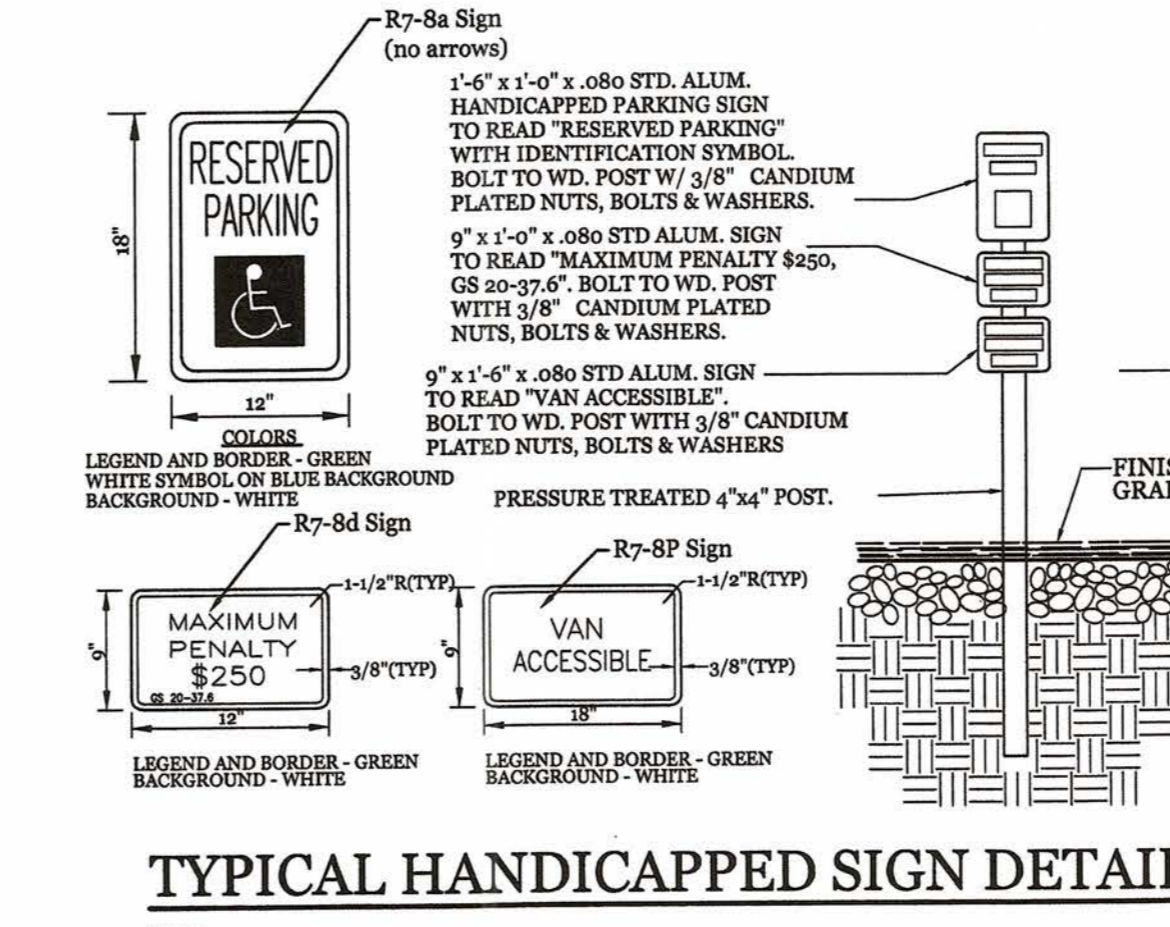
STANDARD DETAIL: COMMERCIAL DRIVEWAY PLAN SD 3-03.3



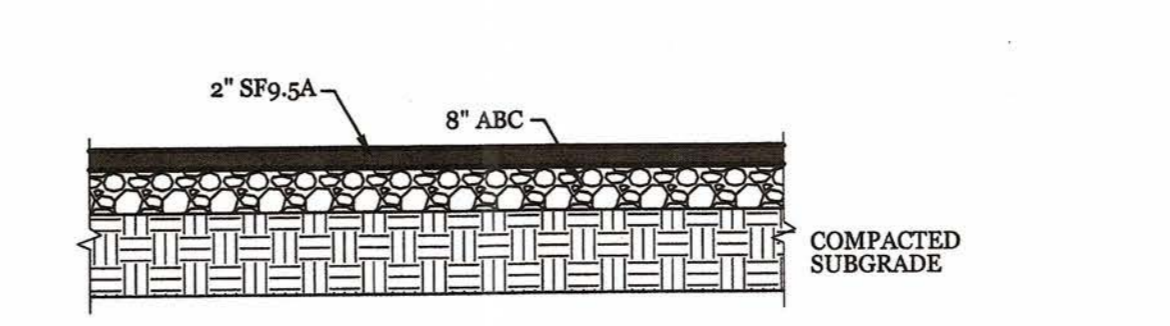
STANDARD DETAIL: COMMERCIAL DRIVEWAY SECTIONS SD 3-03.4



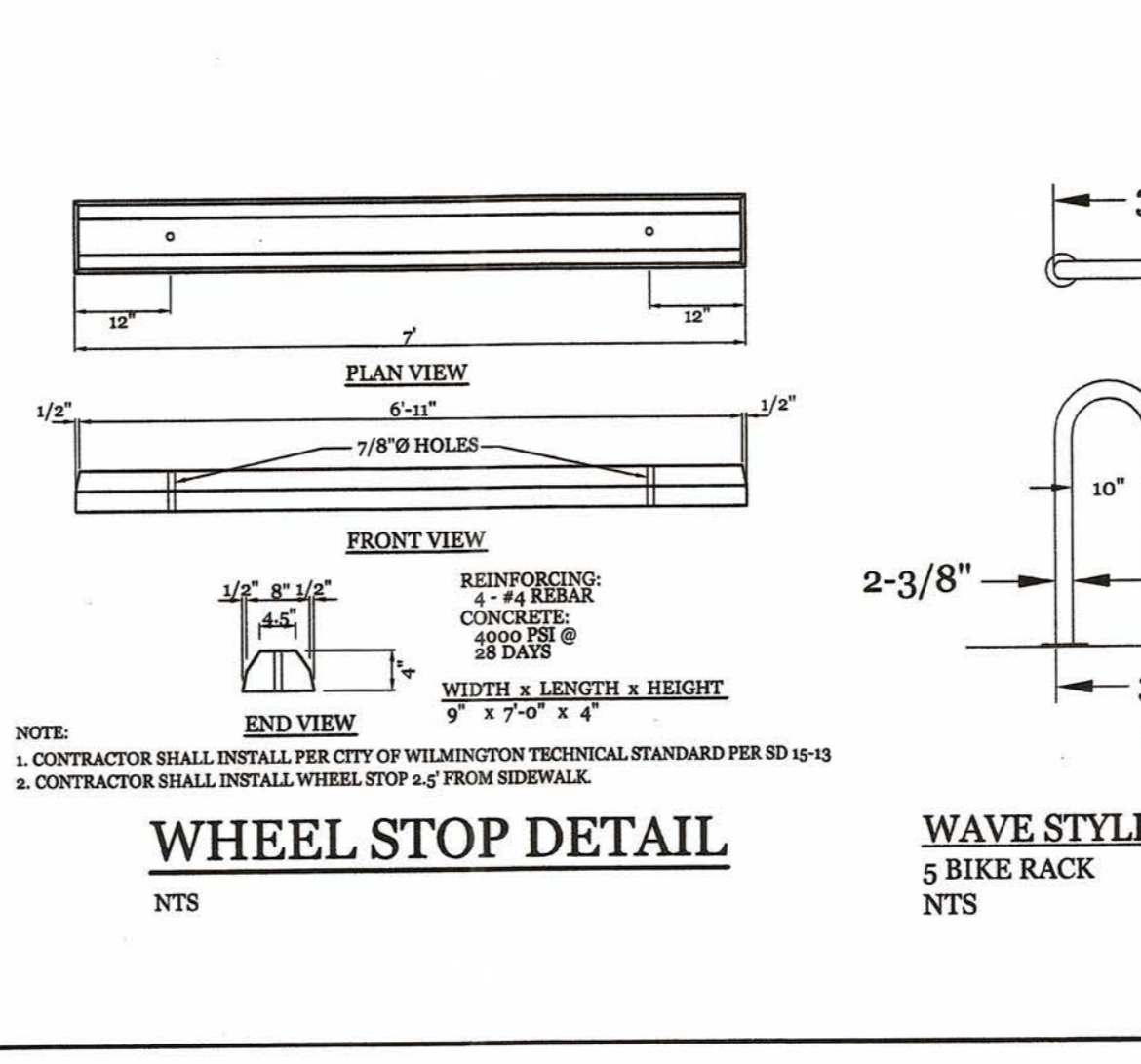
STANDARD DETAIL: CURBING SD 3-11



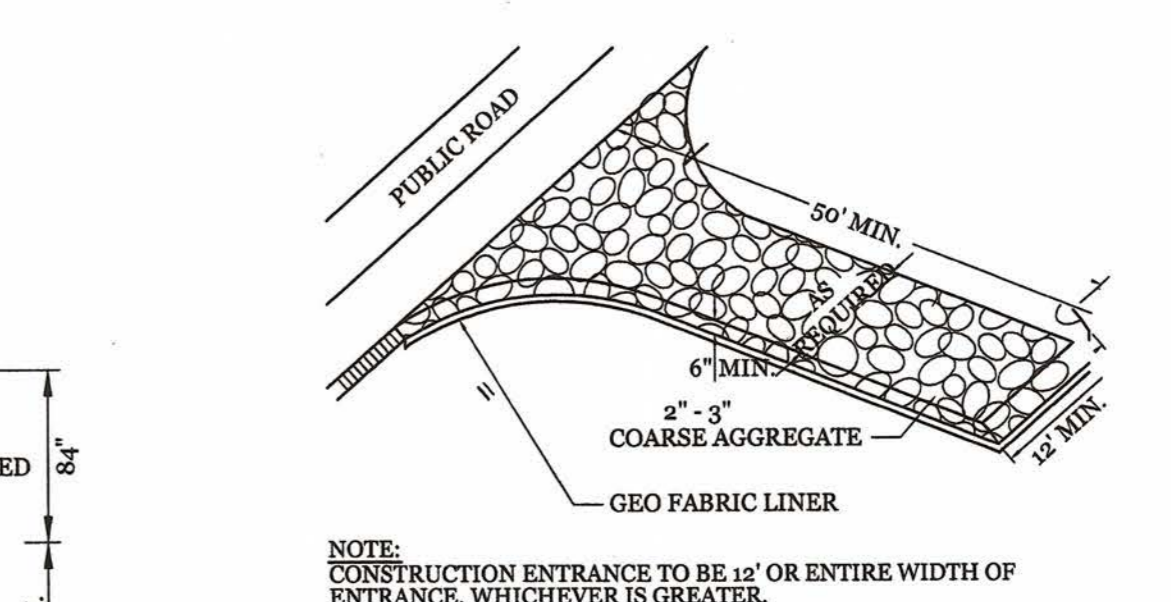
TYPICAL HANDICAPPED SIGN DETAIL NTS



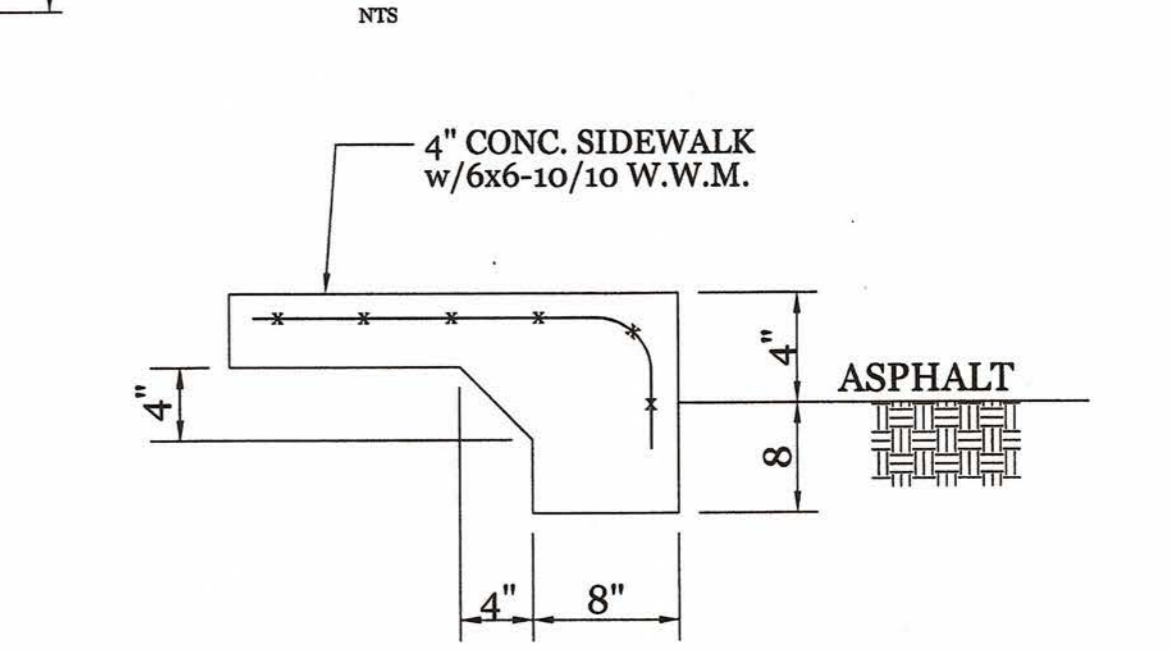
PAVEMENT SECTION NTS



WHEEL STOP DETAIL NTS



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE NTS



TURNDOWN SIDEWALK NTS

APPROVED CONSTRUCTION PLAN

City of Wilmington, North Carolina
 Public Services - Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 08/24/2018 Permit # 2018038
 Signed: *[Signature]* for RAC

Name: *Nicole D Smith* Date: *8/23/18*
 Public Utilities: *N/A*
 Traffic: *W Smith 8-25-18*
 Fire: *C. Webb 9/5/18*

DETAILS FOR **LARUE TOWNHOMES**
 CITY OF WILMINGTON
 NEW HANOVER COUNTY, NC

Professional Engineer Seal
 NORTH CAROLINA PROFESSIONAL ENGINEER
 SEAL
 032555
 CHARLES D. CALDER
 8/10/18

CLIENT INFORMATION:
 Kevin Pfirman
 Architect, PLLC
 307 Martin Street
 Wilmington, NC 28401
 PH. 910-538-2170

DRAWN: JAE SHEET SIZE: 24x36
 CHECKED: CDC DATE: 8/6/2018
 APPROVED: CDC SCALE: NTS
 PROJECT NUMBER: 2018-007

DRAWING NUMBER: **C-2** 3 OF 6

SITE DATA

PARCEL ID:	R05413-036-005-000	
CURRENT ZONING:	UMX	
CAMA LAND USE CLASSIFICATION:	URBAN	
PROJECT ADDRESS:	307 MARTIN ST. WILMINGTON, NC 28401	
CURRENT OWNER:	KEVIN PFIRMAN ARCHITECT, PLLC 307 MARTIN ST. WILMINGTON, NC 28401	
TOTAL ACREAGE IN PROJECT BOUNDARY:	13,774 S.F. (0.32 AC.)	
BUILDING HEIGHT:	25' (TWO STORIES) / 35' MAX	
PER UNIT GFA BREAKDOWN (8) TWO BEDROOM UNITS TOTAL (3 BUILDINGS):		
1st FLOOR GFA:	510 S.F.	
2nd FLOOR GFA:	510 S.F.	
TOTAL GFA PER UNIT:	1,020 S.F.	
TOTAL SITE GFA:	8,160 S.F.	
BUILDING SETBACKS:		
FRONT:	REQUIRED= 0'	PROPOSED= 3'
SIDE:	REQUIRED= 0'	PROPOSED= 3' L / 7' R
REAR:	REQUIRED= 0'	PROPOSED= 6.85'
CALCULATION FOR BUILDING COVERAGE :		
PROPOSED COVERAGE	4,600 S.F. + 13,774 S.F. = 33.3%	
PROPOSED ON-SITE IMPERVIOUS AREAS:		
BUILDINGS	4,600 S.F.	
ASPHALT PARKING	2,977 S.F.	
CONCRETE SIDEWALK/RET. WALL	1,404 S.F.	
TOTAL	8,981 S.F. + 13,774 S.F. = 65.2%	
TOTAL ON-SITE IMPERVIOUS AREA:	8,981 S.F.	
PROPOSED IMPERVIOUS AREA:	93 S.F.	
EX. IMPERVIOUS AREA TO REMAIN:	9,074 S.F.	
OFF-SITE IMPERVIOUS AREAS:		
CONCRETE DRIVEWAY APRON	550 S.F.	
CONCRETE SIDEWALK	1,111 S.F.	
TOTAL	1,661 S.F.	
OFF STREET PARKING REQUIRED:		
REQUIRED:	0 SPACES (2.5 Spaces/du= 20 SPACES Max)	
PROPOSED:	8 SPACES (1 H.C. SPACE)	
BICYCLE PARKING REQUIRED:		
REQUIRED:	8 SPACES (1 Space per dwelling unit)	
PROVIDED:	10 SPACES	
LOADING SPACE REQUIRED:		
REQUIRED:	0 SPACE	
PROVIDED:	0 SPACE	
OPEN SPACE REQUIREMENT: (0.03 AC. per dwelling unit)		
0.03 X 8 du=	0.24 AC	
PROVIDED:	0.0 AC (REQUESTING EXEMPTION)	
EXISTING SEWER & WATER DEMAND:		
SEWER =	0 GPD	
WATER =	0 GPD	
PROPOSED SEWER & WATER DEMAND:		
SEWER =	1,920 GPD	
WATER =	1,920 GPD	

DEVELOPMENT NOTES:

1. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
2. PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
3. SEE ARCHITECTURAL PLAN FOR DETAILS AND SPECIFICATIONS.

SURVEY NOTES:

1. EXISTING SURVEYING PERFORMED BY PATRICK C. BRISTOW - PROFESSIONAL LAND SURVEYOR (L-4148)
2. NO REGULATED TREES EXIST ON SITE.

FIRE & SAFETY NOTES:

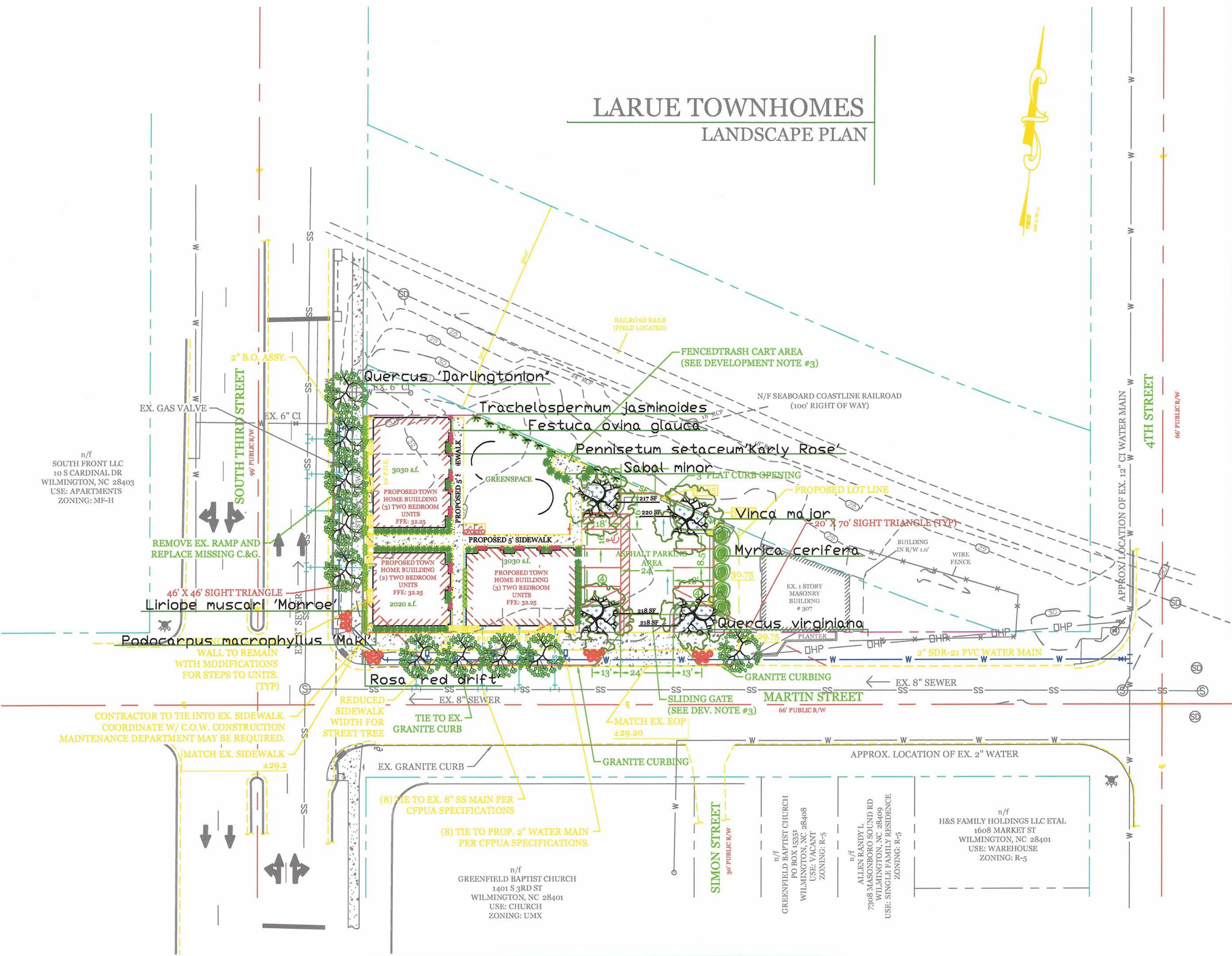
1. CONSTRUCTION TYPE: V-B (RESIDENTIAL)
2. BUILDINGS WILL NOT BE SPRINKLED
3. PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS.
4. ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
5. HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.
6. PROPOSED GATE AT DRIVEWAY TO BE SIREN ACTIVATED.
7. IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.

TRAFFIC NOTES:

1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. (DETAIL SD 15-13 & SD 11-3 COFW TECH STD)
2. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS. (DETAIL SD 15-13 & SD 11-3 COFW TECH STD)
3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
4. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
5. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
6. A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN. [SD 15 -14 COFW TECH STD]
7. CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
8. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10'.

UTILITY NOTES:

1. EXISTING WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS.
2. ALL PROPOSED UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS & TELEPHONE SHALL BE INSTALLED UNDERGROUND.
3. ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CFPWA TECHNICAL SPECIFICATIONS & STANDARDS.
4. PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND N.C.D.E.N.R. HAS ISSUED THEIR "FINAL APPROVAL". CALL 332-6558 FOR INFORMATION.
5. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCCCHR OR ASSE.
6. IF CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED P RESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
7. WHEN PVC WATER MAINS AND SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED, SINGLE-STRAND COPPER WIRE INSTALLED & STRAPPED TO THE PIPES WITH DUCT TAPE. THIS IS TO BE ACCESSIBLE IN ALL VALVES AND METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
8. SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
9. SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE AT RIGHT-OF-WAY LINE. SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR OR MUST ORIGINATE IN MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
10. ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF CLASS 50 D.I.P. WITH PROTECTO 401 CERAMIC EPOXY LINING.
11. MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
12. NO FLEXIBLE COUPLINGS SHALL BE USED.
13. ALL STAINLESS STEEL FASTENERS SHALL BE 316.
14. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OR EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LOCO AT 1-800-632-4048.
15. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB & GUTTER, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
16. THE BELL SOUTH CONTACT IS STEVE DAYVAULT, BUILDING INDUSTRY CONSULTANT, AT 910-399-8712. CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.
17. THE PROCESS FOR TELEPHONE CABLE PLACEMENT: * FINAL GRADE WILL NEED TO BE ESTABLISHED. * POWER WILL PLACE THEIR CABLE FIRST- APPROXIMATELY 3' DEEP. * BELL SOUTH & CABLE TV WILL THEN PLACE THEIR CABLE AT APPROXIMATELY 2' DEEP.
18. SOLID WASTE DISPOSAL IS COW CURBSIDE PICKUP.
19. SHOULD ADDITIONAL SERVICES BE LOCATED DURING CONSTRUCTION, THEY MUST EITHER BE UTILIZED OR ABANDONED.
20. EACH OF THE (8) DWELLING UNITS TO BE SERVED VIA 6" WATER METER AND 4" SS SERVICE.



LARUE TOWNHOMES
307 MARTIN STREET
WILMINGTON, N.C. 28401

LAND DESIGN - SOUTH
LANDSCAPE ARCHITECTURE
PLANNING
ASLA ASSOCIATE



DONNA CLEMONS
910.612.9538

OWNER: KEVIN PFIRMAN
307 MARTIN STREET
Rosa WILMINGTON, N.C. 28401

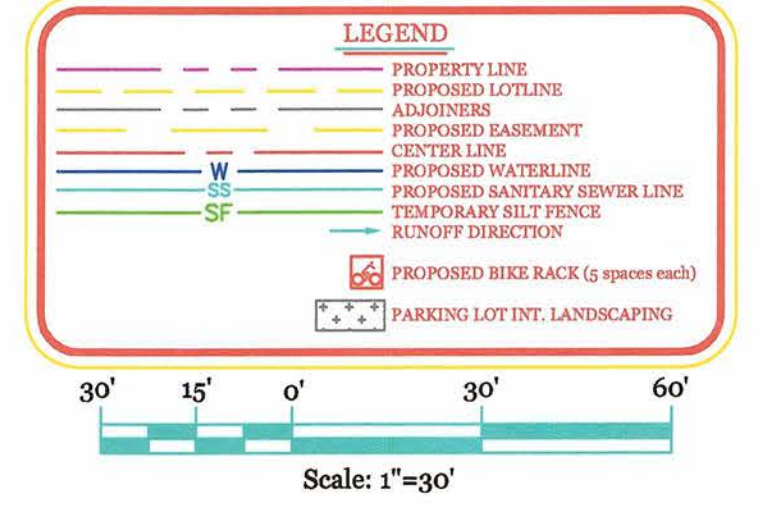
DATE: 5.24.18
REVISED: 7.23.18
REVISED: 8.6.18
SCALE: 1"=30'

L1

City of Wilmington
Public Services • Engineering Division
APPROVED LANDSCAPE PLAN
Date: Permit #
Signed:



City of Wilmington
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 08/29/2018 Permit # 2018038
Signed: Todd Baker for RAC

Approved Construction Plan
Name: Nicole D Smith Date: 8/28/18
Planning: Nicole D Smith
Public Utilities: NA
Traffic: W-Staff 8-28-18
Fire: C. Waller 9/5/18



Plant Table



Broadleaf Deciduous

Quantity	Symbol	Scientific Name	Common Name	Planting Size
10		Quercus hemisphaerica	Darlington oak	2.5" caliper
20		Rosa 'red drift'	Red drift rose	3 gallon


Broadleaf Evergreen

Quantity	Symbol	Scientific Name	Common Name	Planting Size
5		Myrica cerifera	Southern wax-myrtle	6'
67		Podocarpus macrophyllus 'Maki'	Yew podocarpus	6'
4		Quercus virginiana	Southern live oak	2.5" caliper
10		Trachelospermum jasminoides	Star jasmine	3 gallon



Grass

Quantity	Symbol	Scientific Name	Common Name	Planting Size
48		Festuca ovina glauca	Blue fescue	3 gallon
30		Pennisetum setaceum 'Karly Rose'	Karly rose grass	3 gallon

Palm

Quantity	Symbol	Scientific Name	Common Name	Planting Size
7		Sabal minor	Dwarf palmetto	7 gallon

Perennial

Quantity	Symbol	Scientific Name	Common Name	Planting Size
50		Liriope muscari 'Monroe'	White flowered lily turf	1 gallon
200		Vinca major	Trailing periwinkle	4"pot

LANDSCAPE NOTES:

CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO PLANTING AND COORDINATE WITH ALL OTHER TRADES ON SITE. ALL PLANTS SHALL CONFORM TO OR EXCEED THE STANDARDS FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND WOMEN. ALL PLANTINGS SHALL RECIEVE EQUAL PARTS OF BLACK KOW, WASHED SAND AND SLOW RELEASE FERTILIZER IN EACH PLANTING HOLE. THE SITE SHALL BE ACCEPTABLE FOR LANDSCAPING WHEN GRADE IS ESTABLISHED AND AREAS PROVIDE POSITIVE DRAINAGE.

IRRIGATION NOTES:

COORDINATE WITH CONSTRUCTION SUPERVISOR TO PUT IN IRRIGATION SLEEVEING UNDER WALKS AND CONCRETE AREAS BEFORE CONCRETE IS POURED. ALL FOUNDATION PLANTINGS TO BE IRRIGATED WITH DRIP IRRIGATION ON A COMMON TIMER. BACKFLOW PREVENTER SHALL CONFORM TO CFPWA STANDARD FOR COMMON WATER SUPPLY. ALL COMPONENTS OF IRRIGATION SYSTEM SHALL CONFORM TO THE MANUFACTURERS GUIDELINES INCLUDING: SEDIMENTATION FILTERS, WIRE GAUGE, VALVES AND BACKFLOW PREVENTERS.

SITE DATA:

UMX ZONE - 1945 CORPORATE LIMITS
 SOUTH THIRD STREET -ROAD FRONTAGE=123'/30=4.1 TREES RE'QD
 1 TREE PER EVERY 30' RE'QD = 4 TREES RE'QD
 5 TREES PROVIDED
 MARTIN STREET - SECONDARY STREET YARD
 ROAD FRONTAGE = 137'/30=4.56 TREES RE/QD
 1 TREE PER EVERY 30' RE'QD = 5 TREES RE'QD
 5 TREES PROVIDED
 INTERIOR PARKING RE'QD SHADING
 PARKING LOT, APRON AND SIDEWALKS ADJACENT TO PARKING= 3935 SF
 3935 SF /20% = 787 RE'QD
 4 TREES ON PERIMETER OF PARKING LOT = 353.5X4 =1414 PROVIDED

LANDSCAPE FOUNDATION PLANTINGS REQUIREMENT

(35'x22')x12%=92.4 s.f. re"qd
 105 s.f. provided.

PROPOSED SITE TRIANGLES AT SOUTH THIRD STREET AND MARTIN STREETS MUST COMPLY WITH A CLEAR VISUAL SIGHT DISTANCE OF 30" TO 10' OF ANY TREES IN THE SITE TRIANGLE.

TREE NOTE:

ALL DARLINGTON OAK TREES IN THE STREET YARD SHALL BE CITY CUT.

LARUE TOWNHOMES
 307 MARTIN STREET
 WILMINGTON, N.C. 28401

OWNER : KEVIN PFIRMAN
 307 MARTIN STREET
 Rosa 'WILMINGTON ,N.C. 28401

LAND DESIGN -SOUTH
 LANDSCAPE ARCHITECTURE
 PLANNING
 ASLA ASSOCIATE



DONNA CLEMMONS
 910.612.9538

DATE: 5.24.18
 REVISED: 7.23.18
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 SCALE= 1"=30'

L2



Approved Const. Plan
 Name: Nicole Smith
 Date: 8/28/18
 Planning: Nicole Smith
 Traffic: W. Smith
 Date: 9/5/18